



The State of New Hampshire
Department of Environmental Services

110 - 6/17/26



Robert R. Scott, Commissioner

May 19, 2026

Her Excellency, Governor Kelly A. Ayotte
and The Honorable Council
State House
Concord, NH 03301

REQUESTED ACTION

Approve John and Marie Calabro's request to perform the following work on Lake Winnepesaukee in Alton pursuant to NH Department of Environmental Services (NHDES) Wetlands Bureau permit #2025-02351, and in accordance with RSA 482-A:3. Comments submitted by the Alton Conservation Commission on the project as proposed, are addressed in the Findings and are included in the enclosed documents.

Impact 305 square feet of bank to construct a 4 foot wide elevated stair case providing access to a new 30 foot x 36 foot boathouse with an 8 foot x 40 foot deck connected to a 5 foot x 30 foot pier and a 5 foot x 22 foot pier access by a 4 foot x 12 foot gangway anchored to a 5 foot x 6 foot landing and construct a 70 foot long breakwater to the North of the boathouse on an average of 239 feet of frontage along Lake Winnepesaukee on Clay Point In Alton.

NHDES imposed the following conditions as part of this approval:

1. In accordance with Env-Wt 307.16, all work shall be done in accordance with the revised plans, revision dated January 27, 2026 by Stoney Ridge Environmental LLC, as received by the NH Department of Environmental Services (NHDES) on February 6, 2026.
2. This permit shall not be effective until it has been recorded in the Belknap County Registry of Deeds and a copy of the recorded permit has been provided to the department as required pursuant to RSA 482-A:3, and Env-Wt 314.02.
3. Work conducted shall adhere to the conditions and recommendations received from the New Hampshire Fish & Game Department and Department of Environmental Services in order to avoid and minimize project-related impacts to sensitive species identified by the DataCheck (NHB24-0977) per Env-Wt 311.01(b).
4. The owner understands and accepts that should these docking structures be found to have an unreasonable impact on the ability of abutting owners to use and enjoy their properties or the public's right to navigation, passage, and use of the resource for commerce and recreation, the structures shall be subject to removal pursuant to RSA 482-A:1, RSA 482-A:11, II, and Env-Wt 513.03(a).
5. In accordance with Env-Wt 515.05(e), no construction, modification, or maintenance activity that is contrary to RSA 482-A:26 shall be conducted.
6. Only those structures shown on the approved plans shall be installed or constructed along this frontage as required per Env-Wt 513.22, (a).

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7. All portions of the docking structures, including the breakwater toe -of-slope, shall be located at least 20 feet from the abutting property lines and no watercraft shall be secured to the docking facility such that it crosses over the imaginary extension of the property lines over the surface water as required by RSA 482-A:3, XIII.
8. Owners of permanent docking structures which are not maintained so as to be structurally sound and usable for their intended purpose shall remove those docking structures in accordance with Env-Wt 513.22(c), to prevent hazards to public safety, navigation, and recreation.
9. Pursuant to RSA 270:33, Heating, Agitating, or Other Devices in Public Waters; Safety Hazard, no agitating or heating device installed in accordance with RSA 270:34 shall inhibit or prevent the natural formation of ice in such a manner as to impede either the ingress or egress to or from the ice from any property other than that of the owner of the device.
10. All development activities associated with any project shall be conducted in compliance with applicable requirements of RSA 483-B and Env-Wq 1400 during and after construction as required pursuant to RSA 483-B:3.
11. Pursuant to RSA 483-B:9, V(a)(2)(D), (v), this permit does not authorize the removal of trees or saplings within the waterfront buffer that would result in a tree and sapling point score below the minimum required per RSA 483-B:9, V(a)(2)(D), (iv).
12. Work authorized shall be carried out in accordance with Env-Wt 307 such that appropriate turbidity controls are in place to protect water quality, that no turbidity escapes the immediate work area, and that appropriate turbidity controls shall remain until suspended particles have settled and water at the work site has returned to normal clarity.
13. All construction-related debris shall be placed outside of those areas subject to RSA 482-A or RSA-483-B unless a permit for the deposition of materials within those areas has been obtained as required per RSA 482-A:3 or RSA 483-B:5-b respectively.

EXPLANATION

NHDES approved this project on March 20, 2026. NHDES supported its decision with the following findings:

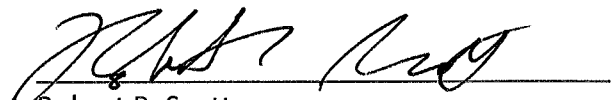
1. This is a major impact project per Administrative Rule Env-Wt 512.06, construction of a new breakwater.
2. The applicant has an average of 239 feet of frontage along Lake Winnepesaukee.
3. A maximum of 4 slips may be permitted on this frontage per Rule Env-Wt 513.12, Frontage Requirements for Private and Non-commercial Docking Structures.
4. The proposed docking facility will provide 4 slips as defined per RSA 482-A:2, VIII, and therefore meets Rule Env-Wt 513.12.
5. The NHDES finds that because the project is not of significant public interest and will not significantly impair the resources of Lake Winnepesaukee, a public hearing under RSA 482-A:8 is not required.
6. On September 25, 2025, the Department received comments from the Alton Conservation Commission (ACC) which noted that the application and construction sequence made mention of dredge which the ACC opposes.
7. The plans approved by the department do not include dredging and no dredging of the lakebed is authorized by this permit.

8. Per Rule Env-Wt 311.01(b), the applicant coordinated with the NH Fish and Game Department (NHF&G) and the Department of Environmental services to determine how to avoid and minimize project-related impacts on rare or protected animal species and habitat, and on protected plants or exemplary natural communities.
9. Applicant requested a waiver, in accordance with Env-Wt 204, of Administrative Rule Env-Wq 1405.05, requiring all proposed accessory structures to be built on a slope of less than 25%.
10. The Applicant's frontage uniformly exceeds 25%, therefore, they are unable to access the water without impacting a slope exceeding 25%.
11. The Applicant has demonstrated that granting the waiver will have no adverse effect on the environment, natural resources of the state, public health, public safety, nor impacts to abutting properties more significant than that which would result from complying with the rule as required to meet Rule Env-Wt 204.05, Criteria, (a), (1).
12. The Applicant has demonstrated that strict compliance with Rule Env-Wq 1405.05 will provide no benefit to the public and will provide both an operational and economic impact to the applicant as required to meet Rule Env-Wt 204.05, Criteria, (a), (2).
13. The request for a waiver meets the requirements of Rule Env-Wt 204.05, Criteria, and therefore, the waiver Rule Env-Wq 1405.05 is granted.
14. Applicant requested a waiver, in accordance with Env-Wt 204, of Administrative Rule Env-Wt 512.04(a)-(b) which limits the height of breakwaters to 3 feet above the normal high water line and the width of breakwaters to 3 feet at the highest point.
15. The wave analysis conducted by the Applicant's engineer estimated a design wave height of 3.3 feet and a design wave runup of 8.8 feet above water level based on the fetch and exposure of the site, thus requiring a higher structure to prevent overtopping by waves.
16. The Applicant has demonstrated that granting the waiver will have no adverse effect on the environment, natural resources of the state, public health, public safety, nor impacts to abutting properties more significant than that which would result from complying with the rule as required to meet Rule Env-Wt 204.05, Criteria, (a), (1).
17. The Applicant has demonstrated that strict compliance with Rule Env-Wt 512.04(a)-(b) will provide no benefit to the public and will provide both an operational and economic impact to the applicant as required to meet Rule Env-Wt 204.05, Criteria, (a), (2).
18. The request for a waiver meets the requirements of Rule Env-Wt 204.05, Criteria, and therefore, the waiver Rule Env-Wt 512.04(a)-(b) is granted.
19. Applicant requested a waiver, in accordance with Env-Wt 204, of Administrative Rule Env-Wt 512.04(e)(1) which limits the exposed portion of a breakwater to be no more than 50 feet from the normal high water line.
20. The Applicant has provided evidence of a layer of clay within the adjacent soils. Disturbance and exposure to wave action of this clay layer due to dredging necessary to design for reduced structure lengths would result in violations of turbidity standards for water quality.
21. The configuration of the proposed breakwater avoids and minimizes impacts to the lakebed as it locates the structure further from the shoreline and avoids the need for dredging while providing protection for the associated docking structure.

22. The applicant has demonstrated that granting the waiver will have no adverse effect on the environment, natural resources of the state, public health, public safety, nor impacts to abutting properties more significant than that which would result from complying with the rule as required to meet Rule Env-Wt 204.05, Criteria, (a), (1).
23. The applicant has demonstrated that strict compliance with Rule Env-Wt 512.04(e)(1) will provide no benefit to the public and will provide both an operational and economic impact to the applicant as required to meet Rule Env-Wt 204.05, Criteria, (a), (2).
24. The request for a waiver meets the requirements of Rule Env-Wt 204.05, Criteria, and therefore, the waiver Rule Env-Wt 512.04(e)(1) is granted.
25. The NHDES finds that the project as proposed and conditioned meets the requirements of RSA 482-A and the Wetlands Program Code of Administrative Rules Chapters Env-Wt 100 - 900.

NHDES Wetlands Bureau permit #2025-02351 application documents are enclosed for review by the Governor and the Executive Council in consideration of this request and in accordance with RSA 482-A:3, II(a), as it is a major project located in New Hampshire public waters.

We respectfully request your approval of this item.


Robert R. Scott
Commissioner



**STANDARD DREDGE AND FILL
WETLANDS PERMIT APPLICATION**
Water Division / Land Resources Management
[Check the Status of your Application](#)



RSA/Rule: RSA 482-A/Env-Wt 100-900

APPLICANT'S NAME: John Calabro

TOWN NAME: Alton

	Administrative Use Only	Administrative Use Only	File No.: 2025-02351
	Administrative Use Only	Administrative Use Only	Check No.: 1038
	Administrative Use Only	Administrative Use Only	Amount: \$15,270.60
	Administrative Use Only	Administrative Use Only	Initials:

A person may request a waiver of the requirements in Rules Env-Wt 100-900 to accommodate situations where strict adherence to the requirements would not be in the best interest of the public or the environment but is still in compliance with RSA 482-A. A person may also request a waiver of the standards for existing dwellings over water pursuant to RSA 482-A:26, III(b). For more information, please consult the [Waiver Request Form](#).

<p>SECTION 1 - REQUIRED PLANNING FOR ALL PROJECTS (Env-Wt 306.05; RSA 482-A:3, I(d)(2))</p> <p>Please use the Wetland Permit Planning Tool (WPPT), the Natural Heritage Bureau (NHB) DataCheck Tool, the Aquatic Restoration Mapper, or other sources to assist in identifying key features such as: Priority Resource Areas (PRAs), protected species or habitats, coastal areas, designated rivers, or designated prime wetlands.</p>	
Has the required planning been completed?	<input checked="" type="radio"/> Yes <input type="radio"/> No
Does the property contain a PRA? If yes, provide the following information:	<input type="radio"/> Yes <input checked="" type="radio"/> No
<ul style="list-style-type: none"> Does the project qualify for an Impact Classification Adjustment (e.g. NH Fish and Game Department (NHFG) and NHB agreement for a classification downgrade) or a Project-Type Exception (e.g. Maintenance or Statutory Permit-by-Notification (SPN) project)? See Env-Wt 407.02 and Env-Wt 407.04. 	<input checked="" type="radio"/> Yes <input type="radio"/> No
<ul style="list-style-type: none"> Protected species or habitat? <ul style="list-style-type: none"> If yes, species or habitat name(s): Bald Eagle NHB Project ID #: NHB25-1276 	<input checked="" type="radio"/> Yes <input type="radio"/> No
• Bog?	<input type="radio"/> Yes <input checked="" type="radio"/> No
• Floodplain wetland contiguous to a tier 3 or higher watercourse?	<input type="radio"/> Yes <input checked="" type="radio"/> No
• Designated prime wetland or duly-established 100-foot buffer?	<input type="radio"/> Yes <input checked="" type="radio"/> No
• Sand dune, tidal wetland, tidal water, or undeveloped tidal buffer zone?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Is the property within a Designated River corridor? If yes, provide the following information:	<input type="radio"/> Yes <input checked="" type="radio"/> No
<ul style="list-style-type: none"> Name of Local River Management Advisory Committee (LAC): A copy of the application was sent to the LAC on Month: Day: Year: 	

For dredging projects, is the subject property contaminated? • If yes, list contaminant:	<input type="radio"/> Yes <input checked="" type="radio"/> No
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Is there potential to impact impaired waters, class A waters, or outstanding resource waters?	<input type="radio"/> Yes <input checked="" type="radio"/> No
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For stream crossing projects, provide watershed size (see WPPT or Stream Stats):	N/A
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SECTION 2 - PROJECT DESCRIPTION (Env-Wt 311.04(i))
 Provide a description of the project and the purpose of the project, the need for the proposed impacts to jurisdictional areas, an outline-of the scope of work to be performed, and whether impacts are temporary or permanent.

The applicant is proposing to construct an over the water boathouse and breakwater in front of their property located on Lake Winnepesaukee at 169 Hopewell Road in Alton, NH..

The applicant is applying for the least impacting alternative. In addition to the shallow waters in front of their property, the applicants are subjected to extreme wind & wave activity. These waves gather height and speed over the broads creating large wave activity. The applicant has met with the NHDES on designing an appropriately sized breakwater to protect the shore and proposed boathouse. A wave study has been included with this application.

Initially an in the bank boathouse was proposed for this site, however after many meetings with the NHDES, it was agreed to jointly, that this site would warrant an over the water boathouse. The NHDES hasd reviewed the preliminary designs and has agreed to review this application and proposed waivers for the construction of a boathouse over water a differently designed breakwater that was designed for the lake conditions at the Calabro lot. Further, this boathouse will be placed far enough off the shore to reach safe navigable depths. This proposal is the least impacting alternative as it avoids impacting a steep slope susceptible to extreme erosion, (2) is being placed far enough out from the shore to avoid the need for dredging, (3) the boathouse complex will eliminate the need to construct a beach for water access. and (4) over the bank stairs will be used to access the boathouse/dock complex.

SECTION 3 - PROJECT LOCATION
 Separate wetland permit applications must be submitted for each municipality within which wetland impacts occur.

ADDRESS: 169 Hopewell Road

TOWN/CITY: Alton

TAX MAP/BLOCK/LOT/UNIT: Tax Map 21/Lot5-7

US GEOLOGICAL SURVEY (USGS) TOPO MAP WATERBODY NAME: **Lake Winnepesaukee**
 N/A

(Optional) LATITUDE/LONGITUDE in decimal degrees (to five decimal places):

SECTION 4 - APPLICANT (DESIRED PERMIT HOLDER) INFORMATION (Env-Wt 311.04(a))		
If the applicant is a trust or a company, then complete with the trust or company information.		
NAME: John & Marie Calabro		
MAILING ADDRESS: [REDACTED]		
TOWN/CITY: [REDACTED]	STATE: [REDACTED]	ZIP CODE: [REDACTED]
EMAIL ADDRESS:		
FAX:	PHONE:	
ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically.		
SECTION 5 - AUTHORIZED AGENT INFORMATION (Env-Wt 311.04(c))		
<input type="checkbox"/> N/A		
LAST NAME, FIRST NAME, M.I.: Cynthia M. Balcius - CSS, CWS, CPESC		
COMPANY NAME: Stoney Ridge Environmental, LLC		
MAILING ADDRESS: 8 Kiana Road		
TOWN/CITY: Alton	STATE: NH	ZIP CODE: 03809
EMAIL ADDRESS: cbalcius@stoneyridgeenv.com		
FAX:	PHONE: (603) 776-5825	
ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically. CMB		
SECTION 6 - PROPERTY OWNER INFORMATION (IF DIFFERENT THAN APPLICANT) (Env-Wt 311.04(b))		
If the owner is a trust or a company, then complete with the trust or company information.		
<input checked="" type="checkbox"/> Same as applicant		
NAME:		
MAILING ADDRESS:		
TOWN/CITY:	STATE:	ZIP CODE:
EMAIL ADDRESS:		
FAX:	PHONE:	
ELECTRONIC COMMUNICATION: By initialing here, I hereby authorize NHDES to communicate all matters relative to this application electronically.		

SECTION 7 - RESOURCE-SPECIFIC CRITERIA ESTABLISHED IN Env-Wt 400, Env-Wt 500, Env-Wt 600, Env-Wt 700, OR Env-Wt 900 HAVE BEEN MET (Env-Wt 313.01(a)(3))

Describe how the resource-specific criteria have been met for each chapter listed above (please attach information about stream crossings, coastal resources, prime wetlands, or non-tidal wetlands and surface waters):
This project does not propose any impacts to Prime Wetlands, Coastal Lands or tidal waters, and does not include any stream crossings. Env-Wt 600, Env-Wt 700, and Env-Wt 900 are not applicable to this project.
Consistent with Env-Wt 407.04, the project will be classified based on the classification criteria specified in the applicable sections of Env-Wt 500.
Based on Env-Wt 512, waivers are being submitted for the sizing of the proposed breakwater including a waiver to the height and the base width; a waiver is also being submitted for the spacing to the shore.
Consistent with Env-Wt 513, all applicable criteria for the construction of docking structures will be met.
A waiver to build a boathouse over water is also being submitted.

SECTION 8 - AVOIDANCE AND MINIMIZATION

Impacts within wetland jurisdiction must be avoided to the maximum extent practicable (Env-Wt 313.03(a)).* Any project with unavoidable jurisdictional impacts must then be minimized as described in the [Wetlands Best Management Practice Techniques For Avoidance and Minimization](#) and the [Wetlands Permitting: Avoidance, Minimization and Mitigation fact sheet](#). For minor or major projects, a functional assessment of all wetlands on the project site is required (Env-Wt 311.03(b)(10)).*

Please refer to the application checklist to ensure you have attached all documents related to avoidance and minimization, as well as functional assessment (where applicable). Use the [Avoidance and Minimization Checklist](#), the [Avoidance and Minimization Narrative](#), or your own avoidance and minimization narrative.

*See Env-Wt 311.03(b)(6) and Env-Wt 311.03(b)(10) for shoreline structure exemptions.

SECTION 9 - MITIGATION REQUIREMENT (Env-Wt 311.02)

If unavoidable jurisdictional impacts require mitigation, a mitigation [pre-application meeting](#) must occur at least 30 days but not more than 90 days prior to submitting this Standard Dredge and Fill Permit Application.

Mitigation Pre-Application Meeting Date: Month: Day: Year:

N/A - Mitigation is not required

SECTION 10 - THE PROJECT MEETS COMPENSATORY MITIGATION REQUIREMENTS (Env-Wt 313.01(a)(1)c)

Confirm that you have submitted a compensatory mitigation proposal that meets the requirements of Env-Wt 800 for all permanent unavoidable impacts that will remain after avoidance and minimization techniques have been exercised to the maximum extent practicable: I confirm submittal.

N/A – Compensatory mitigation is not required

SECTION 11 - IMPACT AREA (Env-Wt 311.04(g))

For each jurisdictional area that will be/has been impacted, provide square feet (SF) and, if applicable, linear feet (LF) of impact, and note whether the impact is after-the-fact (ATF; i.e., work was started or completed without a permit).

For intermittent and ephemeral streams, the linear footage of impact is measured along the thread of the channel. *Please note, installation of a stream crossing in an ephemeral stream may be undertaken without a permit per Rule Env-Wt 309.02(d), however other dredge or fill impacts should be included below.*

For perennial streams/ rivers, the linear footage of impact is calculated by summing the lengths of disturbances to the channel and banks.

Permanent (PERM.) impacts are impacts that will remain after the project is complete (e.g., changes in grade or surface materials).

Temporary (TEMP.) impacts are impacts not intended to remain (and will be restored to pre-construction conditions) after the project is completed.

JURISDICTIONAL AREA		PERM. SF	PERM. LF	PERM. ATF	TEMP. SF	TEMP. LF	TEMP. ATF
Wetlands	Forested Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Scrub-shrub Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Emergent Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Wet Meadow			<input type="checkbox"/>			<input type="checkbox"/>
	Vernal Pool			<input type="checkbox"/>			<input type="checkbox"/>
	Designated Prime Wetland			<input type="checkbox"/>			<input type="checkbox"/>
	Duly-established 100-foot Prime Wetland Buffer			<input type="checkbox"/>			<input type="checkbox"/>
Surface	Intermittent / Ephemeral Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Perennial Stream or River			<input type="checkbox"/>			<input type="checkbox"/>
	Lake / Pond	1890		<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Lake / Pond	2224		<input type="checkbox"/>			<input type="checkbox"/>
	Docking - River			<input type="checkbox"/>			<input type="checkbox"/>
Banks	Bank - Intermittent Stream			<input type="checkbox"/>			<input type="checkbox"/>
	Bank - Perennial Stream / River			<input type="checkbox"/>			<input type="checkbox"/>
	Bank / Shoreline - Lake / Pond	321		<input type="checkbox"/>			<input type="checkbox"/>
Tidal	Tidal Waters			<input type="checkbox"/>			<input type="checkbox"/>
	Tidal Marsh			<input type="checkbox"/>			<input type="checkbox"/>
	Sand Dune			<input type="checkbox"/>			<input type="checkbox"/>
	Undeveloped Tidal Buffer Zone (TBZ)			<input type="checkbox"/>			<input type="checkbox"/>
	Previously-developed TBZ			<input type="checkbox"/>			<input type="checkbox"/>
	Docking - Tidal Water			<input type="checkbox"/>			<input type="checkbox"/>
TOTAL		4435					

SECTION 12 - APPLICATION FEE (RSA 482-A:3, I)			
<input type="checkbox"/>	MINIMUM IMPACT FEE: Flat fee of \$400.		
<input type="checkbox"/>	NON-ENFORCEMENT RELATED, PUBLICLY-FUNDED AND SUPERVISED RESTORATION PROJECTS, REGARDLESS OF IMPACT CLASSIFICATION: Flat fee of \$400 (refer to RSA 482-A:3, 1(c) for restrictions).		
<input checked="" type="checkbox"/>	MINOR OR MAJOR IMPACT FEE: Calculate using the table below:		
	Permanent and temporary (non-docking): 2211	SF	× \$0.40 = \$ 1326.60
	Seasonal docking structure:	SF	× \$2.00 = \$
	Permanent docking structure: 2224	SF	× \$4.00 = \$ 13344
	Projects proposing shoreline structures (including docks) add \$400 =		\$ 600
			Total = \$ 15270
	<i>The application fee for minor or major impact is the above calculated total or \$400, whichever is greater = \$ 15270</i>		

SECTION 13 - PROJECT CLASSIFICATION (Env-Wt 306.05)
 Indicate the project classification.

<input type="checkbox"/> Minimum Impact Project	<input type="checkbox"/> Minor Project	<input checked="" type="checkbox"/> Major Project
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SECTION 14 - REQUIRED CERTIFICATIONS (Env-Wt 311.11)

Initial each box below to certify:

<i>JC</i> Initials:	To the best of the signer's knowledge and belief, all required notifications have been provided.
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<i>JC</i> Initials:	The information submitted on or with the application is true, complete, and not misleading to the best of the signer's knowledge and belief.
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<i>JC</i> Initials:	The signer understands that: <ul style="list-style-type: none"> • The submission of false, incomplete, or misleading information constitutes grounds for NHDES to: <ol style="list-style-type: none"> 1. Deny the application. 2. Revoke any approval that is granted based on the information. 3. If the signer is a certified wetland scientist, licensed surveyor, or professional engineer licensed to practice in New Hampshire, refer the matter to the joint board of licensure and certification established by RSA 310-A:1.
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<i>JC</i> Initials:	If the applicant is not the owner of the property, each property owner signature shall constitute certification by the signer that he or she is aware of the application being filed and does not object to the filing.
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SECTION 15 - REQUIRED SIGNATURES (Env-Wt 311.04(d); Env-Wt 311.11)

SIGNATURE (OWNER): <i>John P. Calabro</i>	PRINT NAME LEGIBLY: John Calabro	DATE: <i>7/14/2025</i>
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SIGNATURE (APPLICANT, IF DIFFERENT FROM OWNER):	PRINT NAME LEGIBLY:	DATE:
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SIGNATURE (AGENT, IF APPLICABLE): <i>Cynthia M. Balcius</i>	PRINT NAME LEGIBLY: Cynthia M. Balcius	DATE: <i>8/10/25</i>
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SECTION 16 - TOWN / CITY CLERK SIGNATURE (Env-Wt 311.04(f))

As required by RSA 482-A:3, I(a)(1), I hereby certify that the applicant has filed four application forms, four detailed plans, and four USGS location maps with the town/city indicated below.

TOWN/CITY CLERK SIGNATURE: <i>Jennifer L. Collins</i>	PRINT NAME LEGIBLY: Jennifer L. Collins
TOWN/CITY: <i>Jennifer L. Collins Atton, NH</i>	DATE: <i>8.28.2025</i>

DIRECTIONS FOR TOWN/CITY CLERK:

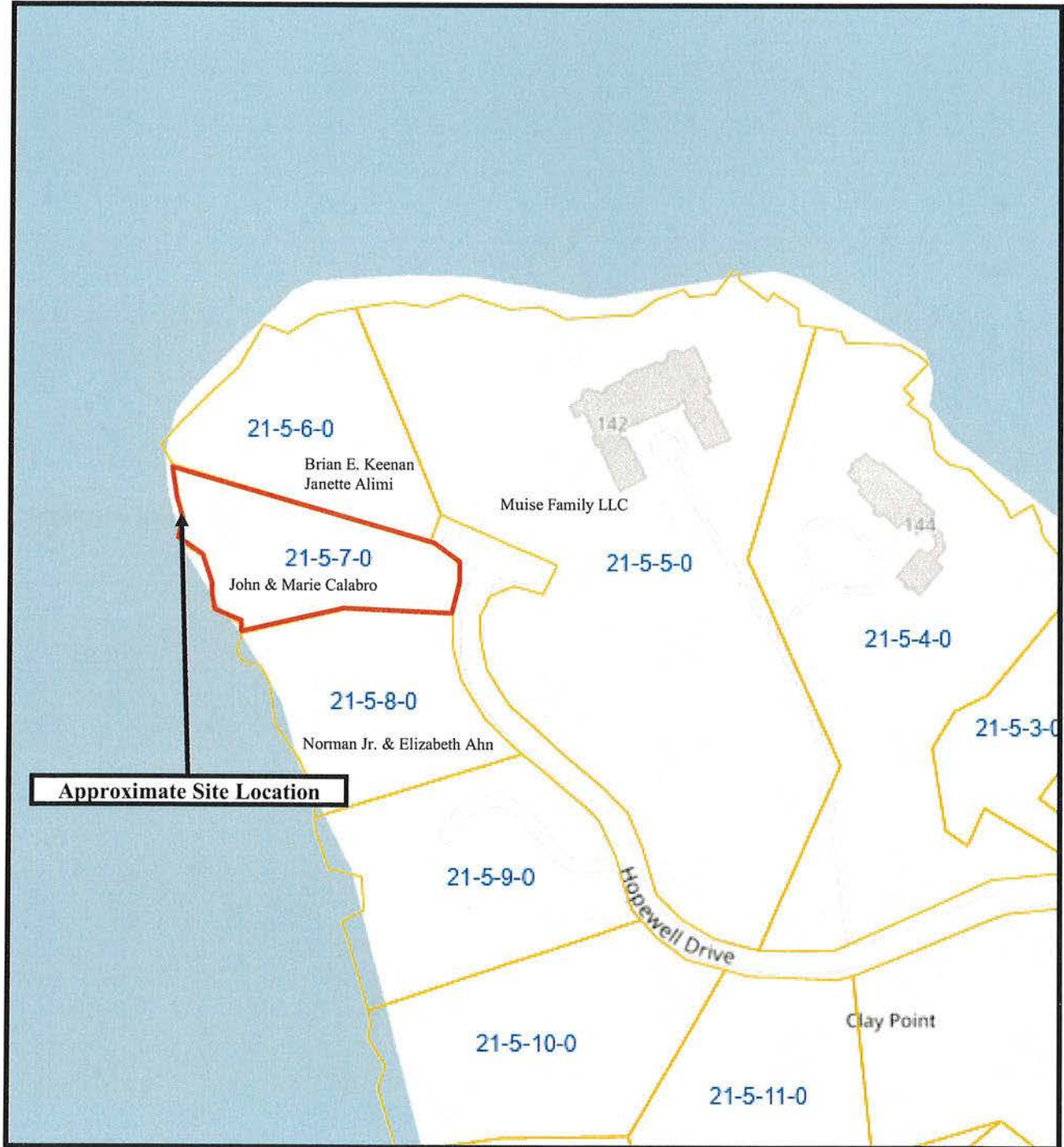
Per RSA 482-A:3, I(a)(1)

1. IMMEDIATELY sign the original application form and four copies in the signature space provided above.
2. Return the signed original application form and attachments to the applicant so that the applicant may submit the application form and attachments to NHDES by mail or hand delivery.
3. IMMEDIATELY distribute a copy of the application with one complete set of attachments to each of the following bodies: the municipal Conservation Commission, the local governing body (Board of Selectmen or Town/City Council), and the Planning Board.
4. Retain one copy of the application form and one complete set of attachments and make them reasonably accessible for public review.

DIRECTIONS FOR APPLICANT:

Submit the original permit application form bearing the signature of the Town/City Clerk, additional materials, and the application fee to NHDES by mail or hand delivery at the address at the bottom of this page. Make check or money order payable to "Treasurer – State of NH".

Tax Map
Calabro Property
169 Hopewell Rd. Tax Map 21, Lot 5-7
Alton, New Hampshire



Aerial Locus

Calabro Property

169 Hopewell Road- Tax Map 21, Lot 5-7

Alton, New Hampshire

Photos Taken: May, 31, 2024





The State of New Hampshire
**Department of Environmental
Services**



Robert R. Scott, Commissioner

This application contains confidential information from the NH Natural Heritage Bureau (NHB) Datacheck tool provided by the NH Department of Natural and Cultural Resources. This information is being withheld from disclosure to the public.

Please direct all questions regarding the confidential information to Courtney Lockwood, Land Resources Management Program Attorney, NH Department of Environmental Services, at: courtney.l.lockwood@des.nh.gov, or (603) 271-8614.

From: [Conservation Commission](#)
To: [DES: Land Resources Management](#)
Subject: Application Comments From Conservation Commission
Date: Thursday, September 25, 2025 9:13:15 AM
Attachments: [image001.png](#)

EXTERNAL EMAIL WARNING! This email originated outside of the New Hampshire Executive Branch network. Do not open attachments or click on links unless you recognize the sender and are expecting the email. Do not enter your username and password on sites that you have reached through an email link. Forward suspicious and unexpected messages by clicking the Phish Alert button in your Outlook and if you did click or enter credentials by mistake, report it immediately to helpdesk@doit.nh.gov!

Good morning,

The Alton Conservation Commission would like to make comments on the following Applications.

Standard Wetlands Application – John Calabro, 169 Hopewell Rd M21 L5-7:

“The applicant states in section 2 “Project Description”, paragraph 3, item 2 that the boathouse “is being placed far enough out from the shore to avoid the need for dredging.”. Again, in Attachment A, Part 1, section 1.1, the applicant states “The boathouse over the water has to be built further out into the water because of the shallow depths and ledge. This eliminates the need for dredging.” yet again, in Section 1.XIII, is the statement “>>>boathouse complex will be placed at the location where water depths preclude having to dredge the lake bottom.” It is therefore alarming to find, on the **Construction, Sediment, & Erosion Control Specifications Plan**, item 7 of the GENERAL CONSTRUCTION SEQUENCE, which states “Dredge area lakeward for boathouse access as shown.”

We oppose allowing any dredging to take place for this project. And would ask the applicant to clarify whether or not dredging is called for.

We oppose this project for an over the water boathouse due to the precedent is will set for lake Winnepesaukee.”

Please let me know if anything else is needed.

Sincerely,

Katherine Bowden

**Building / Conservation
Administrative Assistant**

****NOTICE****

The Building Department has been and is receiving an unprecedented volume of Building Permit applications, accessory permit requests, and other requests such as septic designs and street numbers. As a result, the average processing time to review and approve a Building Permit application has gone from one week to as much as four weeks. Inspections are currently being scheduled 48-72 hours in advance. Please plan accordingly.



Town of Alton

M-Th, 7am-5:30pm

Mailing Address: PO Box 659

Physical Address: 1 Monument Square, Alton, NH 03809

www.alton.nh.gov

(603) 875-2164-office: (603) 651-0732-fax

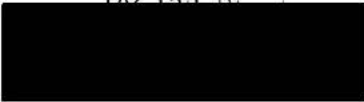
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List of Abutters

Calabro Property
169 Hopewell Rd, Tax Map 21, Lot 5-7
Alton, NH

Map 21, Lot 5-6

Brian Edward Keenan
Janette Ali Alimi



Map 21, Lot 5-5

Muise Family LLC



Map 21, Lot 5-8

Norman Jr. Ahn 2009 Trust
Elizabeth Ahn 2009 Trust
Norman Jr. & Elizabeth Ahn Trustees



Applicant

John & Maric Calabro



Environmental Consultant

Cynthia M. Balcus, CWS, CSS, CPESC
Stoney Ridge Environmental, LLC
8 Kiana Road
Alton, NH 03809
Phone: (603) 776-5825



589 0710 5270 2427 1765 70

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Windham, NH 03087

Certified Mail Fee	\$5.30
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.78

Total Postage and Fees \$6.08

Sent To Muise Family LLC



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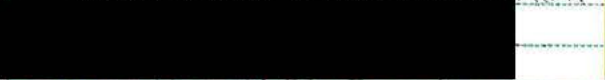
Charlestown, MA 02129

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage \$0.78

Total Postage and Fees \$6.08

Sent To Brian Edward Herman 3 Granite Almi



PS Form 3800, January 2023 PSN 7530-02-000-2047 See Reverse for Instructions

1



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Certified Mail Fee	\$5.30
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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

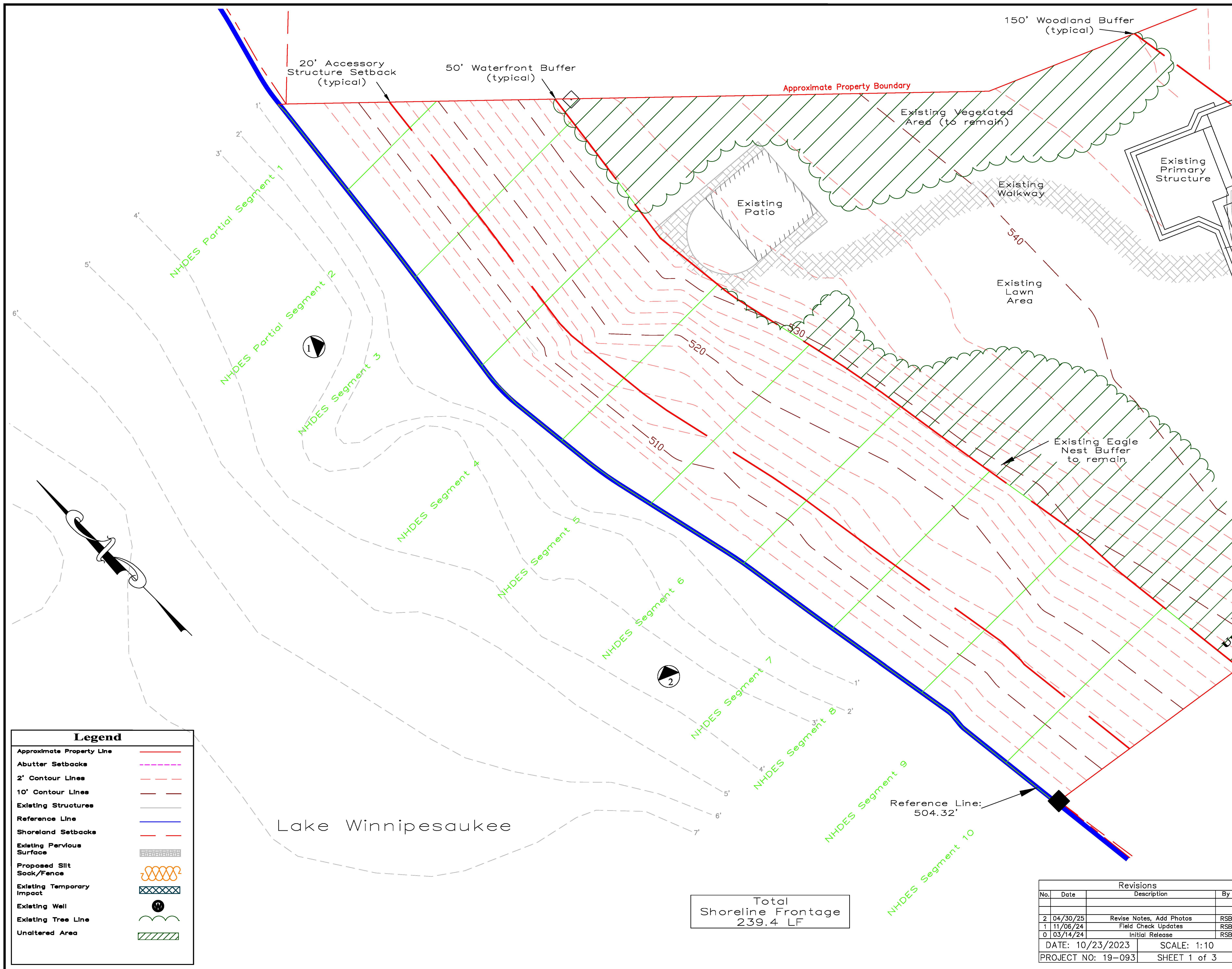
Postage \$0.78

Total Postage and Fees \$6.08

Sent To Norman Jr. 3 Elizabeth Ahn



uctions



- Plan References:**
- Existing Conditions Survey and Water Depth Measurements Completed by R.D. Bartlett & Associates
 - Google Earth Aerial Imagery
 - Town of Alton, NH Tax Map 21
 - NHDES File #2023-00079 Plan Set - Completed by Stoney Ridge Environmental, LLC
 - Tree Count Completed by Stoney Ridge Environmental, LLC in November 2024

- Photo References:**
- Drone Photos at Boathouse Location, 04/21/2025 (see plan view for locations)



Legend

Approximate Property Line	— (Red dashed line)
Abutter Setbacks	— (Pink dashed line)
2' Contour Lines	— (Red dashed line)
10' Contour Lines	— (Red dashed line)
Existing Structures	— (Black outline)
Reference Line	— (Blue solid line)
Shoreland Setbacks	— (Red dashed line)
Existing Pervious Surface	▨ (Hatched pattern)
Proposed Silt Sock/Fence	— (Orange wavy line)
Existing Temporary Impact	▨ (Cross-hatched pattern)
Existing Well	⊙ (Circle with dot)
Existing Tree Line	— (Green wavy line)
Unaltered Area	▨ (Green hatched pattern)

Revisions			
No.	Date	Description	By
2	04/30/25	Revise Notes, Add Photos	RSB
1	11/08/24	Field Check Updates	RSB
0	03/14/24	Initial Release	RSB

DATE: 10/23/2023 SCALE: 1:10
PROJECT NO: 19-093 SHEET 1 of 3

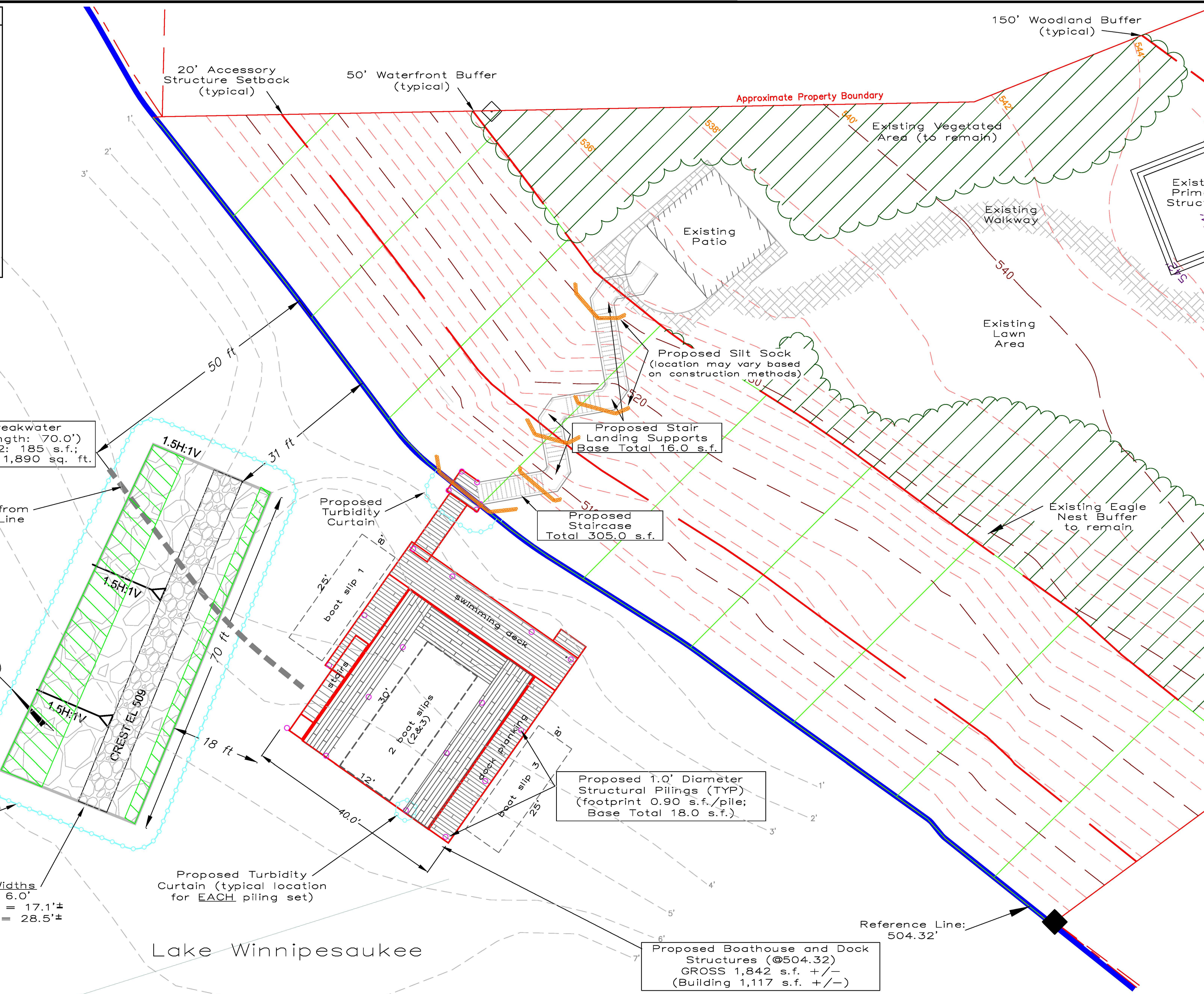
Existing Conditions Survey Completed
By R.D. Bartlett & Associates

Existing Conditions Plan
Calbro Property
Tax Map 21, Block 5, Lot 7
169 Hopewell Road
Alton, NH

Stoney Ridge Environmental LLC
8 Kiona Road, Alton, NH
Phone: 603-776-5825

Legend

Approximate Property Line	---
Abutter Setbacks	---
2' Contour Lines	---
10' Contour Lines	---
Existing Structures	---
Reference Line	---
Shoreland Setbacks	---
Existing Pervious Surface	---
Proposed Silt Sock/Fence	---
Existing Temporary Impact	---
Existing Well	---
Existing Tree Line	---
Unaltered Area	---
Proposed Turbidity Curtain	---



- Plan References:**
- Existing Conditions Survey and Water Depth Measurements Completed by R.D. Bartlett & Associates
 - Google Earth Aerial Imagery
 - Town of Alton, NH Tax Map 21
 - NHDES File #2023-00079 Plan Set - Completed by Stoney Ridge Environmental, LLC
 - Tree Count Completed by Stoney Ridge Environmental, LLC in November 2024

- NHB24-0977 New Hampshire Fish and Game Recommended Permit Conditions:**
- Bald eagle (Protected under RSA 209:9, 209:10) occur within the vicinity of the project area. All operators and personnel working on or entering the site shall be made aware of the potential presence of these species, along with NHFG contact information. Rare species information (e.g. identification, observation and reporting of observations, when to contact NHFG immediately and NHFG contact information) shall be communicated during meetings prior to work commencement throughout the construction phase of the project. See Plan sheet(s) XXXXX.
 - Applicant shall continue to follow consultation and guidance given by the USFWS related to impact concerns related to bald eagles.
 - If construction is needed to occur between Feb 1st and Aug 15th in any year after 2024, the applicant shall consult with the USFWS and continue to follow their guidance relative to bald eagle and obtain a Nest Disturbance Permit if USFWS recommends.
 - No construction shall occur during the bald eagle breeding season (Feb 1st-Aug 15th) within 660 ft of the Bald Eagle nest location unless written authorization is provided by NHFG confirming work may occur during that time based on a determination that the nest is not active during the bald eagle breeding season (Feb 1st-Aug 15th) within that year. The applicant shall consult/coordinate with NHFG and USFWS prior to February 1st on nest activity monitoring needed to assist in the determination.
 - No trees, including the existing forest cover between the nest and proposed staircase, bathhouse, and dock, shall be cut or removed maintaining the existing buffer to the eagle nest. If it is determined that a tree will need to be cut, further consultation with NHFG will be required.
 - All manufactured erosion and sediment control products, with the exception of turf reinforcement mats, utilized for, but not limited to, slope protection, runoff diversion, slope interruption, perimeter control, inlet protection, check dams, and sediment traps shall not contain plastic, or multifilament or monofilament polypropylene netting or mesh with an opening size of greater than 1/8 inches. See Plan sheet(s) XXXXX.
 - All observations of threatened or endangered species on the project site shall be reported immediately to the NHFG nongame and endangered wildlife environmental review program by phone at 603-271-2461 and by email at NHGREview@wildlife.nh.gov, with the email subject line containing the NHB DataCheck tool results letter assigned number, the project name, and the term Wildlife Species Observation.
 - Photographs of the observed species and nearby elements of habitat or areas of land disturbance shall be provided to NHFG in digital format at the above email address for verification, as feasible.
 - In the event a threatened or endangered species is observed on the project site during the term of the permit, the species shall not be disturbed, handled, or harmed in any way prior to consultation with NHFG and implementation of corrective actions recommended by NHFG.
 - NHFG, including its employees and authorized agents, shall have access to the property during the term of the permit.

Breakwater Chart

Breakwater below 504.32'	---
Breakwater above 504.32'	---

Proposed Turbidity Curtain (location may vary based on construction methods)

Proposed Breakwater Widths
Crest @ Elev. 509± = 6.0'
Water Surface @ 504.32± = 17.1'±
Boulder Lake Bed (varies) = 28.5'±

BOAT SLIPS (239.4 LF FRONTAGE)	
ALLOWED BOAT SLIPS	PROPOSED
4	4

TO BE PERMITTED	
BOAT SLIPS	4
PROPOSED IMPACTS	
PROPOSED BREAKWATER	1,890 S.F.
PROPOSED BOATHOUSE	1,812 S.F.
PROPOSED STAIR LANDINGS	321 S.F.
TOTAL IMPACT	4,023 S.F.

Total Shoreline Frontage
239.4 LF

Revisions			
No.	Date	Description	By
12	01/27/26	NHDES Comments	SRE
11	08/27/25	Reference Line Offset	RSB
10	08/22/25	Sed. & Erosion Details	RSB
9	07/14/25	Revised Impact Totals	RSB
8	07/11/25	Add Proposed Impact Totals	RSB
DATE: 10/23/2023		SCALE: 1:10	
PROJECT NO: 19-093		SHEET 2 of 3	

Existing Conditions Survey Completed
By R.D. Bartlett & Associates

Proposed Boathouse and Breakwater Plan

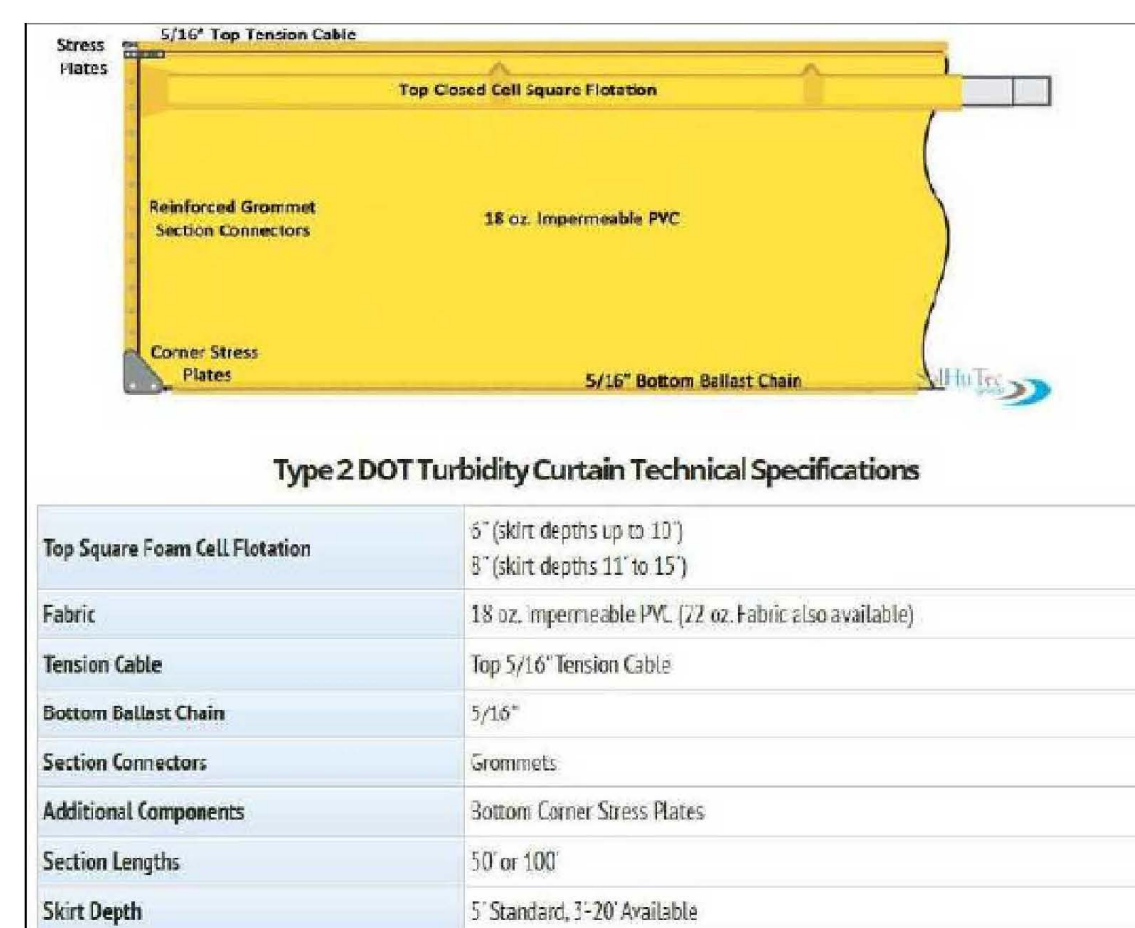
Calabro Property
Tax Map 21, Block 5, Lot 7
169 Hopewell Road
Alton, NH

Stoney Ridge Environmental, LLC
8 Klona Road, Alton, NH
Phone: 603-776-5825

GENERAL CONSTRUCTION SEQUENCE

1. All Principals involved in the construction (i.e. owner, operator, contractor) will meet for a pre- construction meeting to discuss the sequence and scheduling of the construction.
2. Prior to any construction, all sediment and erosion control structures including silt sock and turbidity curtain will be installed and inspected regularly.
3. All work within the limits of the lake shall be performed from the deck of a barge.
4. Installation of piers will be performed from a barge.
5. All work will be performed by professional contractors and appropriate erosion control measures will be utilized at all times. No heavy equipment will be placed in the lake.
6. Construct breakwater as shown on the project plans and professional details.
7. Construct boathouse and docks as outlined.
8. All erosion controls will remain until all work areas are completed and all areas are stabilized.

Typical Turbidity Curtain Detail



Turbidity Curtain Installation Guide

The following is a typical installation guide for installing the floating silt and turbidity curtain. Sites may require additional designs, layouts, and performance requirements.

****** PLEASE NOTE: PROPER ANCHORING OF TURBIDITY CURTAINS IS EXTREMELY IMPORTANT. LOADING, VELOCITY, FLOW AND LOCATION OF SUBMERGED DEBRIS WILL IMPACT THE PERFORMANCE OF THIS PRODUCT - AND MAY CONTRIBUTE TO PRODUCT FAILURE. PLEASE ASK YOUR TEAM MEMBER FOR PROPER ANCHORING RECOMMENDATIONS BASED ON YOUR SITE AND CONDITIONS.**

(Prior to deploying, it is helpful to mark off your curtain layout using buoys or markers. This can help to direct boats along the right path during deployment and positioning.)
When arriving to your location, each section of the turbidity curtain will be bundled separately and secured with a vinyl strap. (Fig 1)

In addition, skirts located on the barrier will be additionally furlled or rolled up to the flotation device with a light twine. DO NOT CUT THE TWINE REEFING LINES UNTIL YOUR CURTAIN HAS BEEN TOWED AND ANCHORED INTO POSITION. (see note page 2)

Step 1: Lay out bundles/sections of turbidity curtain along the shoreline of your location. Each bundle should be placed approximately 15 to 20 inches apart. Once in place, cut or untie the vinyl BUNDLE straps. (Fig 2)

Step 2: Slide together the aluminum section connectors. (Fig 3a) (These connectors will only be present on Type 2 or Type 3 curtains. Once together, insert the toggle pin to keep in place. (Fig 3b) (These types of connectors will not be present on a Type 1 turbidity curtain.)

Step 3: Connect the grommet eyes of the sections using rope ties or heavy duty zip ties. This should be done by aligning the grommet eye of one section to the grommet eye of the next section. Once aligned, tie the rope through both grommet eyes.

Repeat for the entire depth of the skirt. (Fig 4)

(Steps 4-7 Continued on p. 2)

For additional information regarding your curtain design, layout, or deployment method, please contact your local technical representative.



(+1) 772.444.0597 (+1) 772.589.3343 info@geiworks.com

Turbidity Curtain Installation Guide

PLEASE NOTE: In order to connect ballast chain, one or two reefing lines can be cut to extend the skirt for complete fastening. Once connection is complete, the skirt should be tied up again with a light cord prior to towing. Ensuring that the skirt is loosely rolled up to the float and tied off with a piece of scrap twine PRIOR to towing is important. Tearing and damage can occur if the curtain is towed from land to water unfurled.

Step 4: Attach sections of chain together using shackles located at the bottom of the curtain (Type 2 and Type 3 Turbidity Curtains). The shackle located on section 1 should attach to the chain or ring of section 2. This process should be repeated until all the sections are connected. (Fig 5)

Step 5: Prior to dragging curtain across shoreline, lay down geotextile or tarp to protect the curtain from sharp shoreline debris if applicable to your location. Tow the curtain out into position/anchoring points and secure the barrier to the anchors. See note above for towing curtain safely. (Fig 6)

Step 6 (Anchoring): Anchoring of the turbidity curtain is done by attaching the anchored buoy to the curtain through the use of a painter line. This line should connect to anchoring points or section connectors located along the barrier. Buoys should be anchored into position prior to connection to the barrier. Anchoring placement is designed based on your water conditions and will typically be reserved for moving water applications. (Fig 7)

****** PLEASE NOTE: PROPER ANCHORING OF TURBIDITY CURTAINS IS EXTREMELY IMPORTANT. LOADING, VELOCITY, FLOW AND LOCATION OF SUBMERGED DEBRIS WILL IMPACT THE PERFORMANCE OF THIS PRODUCT - AND MAY CONTRIBUTE TO PRODUCT FAILURE. PLEASE ASK YOUR TEAM MEMBER FOR PROPER ANCHORING RECOMMENDATIONS BASED ON YOUR SITE AND CONDITIONS.**

Step 7: Once in place, cut the twine rope and release the skirt into the water. Skirt should extend down for complete containment. All turbidity curtains should be inspected periodically to ensure that all the components on the barrier are operating correctly. (Fig 8)

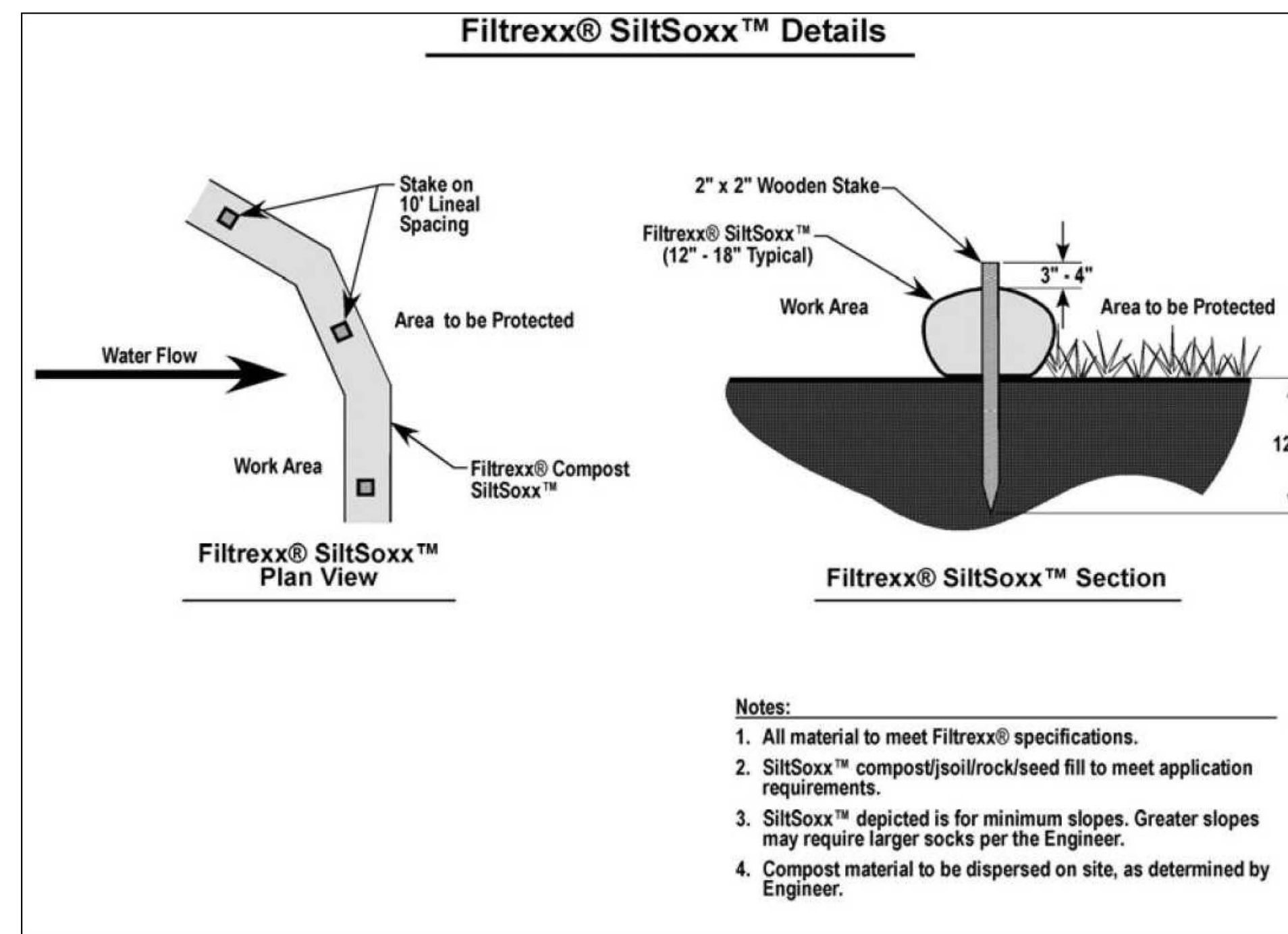
For additional information regarding your curtain design, layout, or deployment method, please contact your local technical representative.



(+1) 772.444.0597 (+1) 772.589.3343 info@geiworks.com

Missing or invalid reference

File: D:\SRE Projects 2024\SRE 19-093\rec'd\06142024\Calabro Breakwater XS 6-10-24.pdf
Sheet: 1



Revisions			
No.	Date	Description	By
1	08/22/25	Sed. & Erosion Details	RSB
0	03/14/24	Initial Release	RSB

DATE: 10/23/2023 SCALE: AS NOTED
PROJECT NO: 19-093 SHEET 3 of 3

Construction, Sediment & Erosion Control Specifications Plan

Calabro Property
Tax Map 21, Block 5, Lot 7
169 Hopewell Road
Alton, NH



Stoney Ridge Environmental LLC
8 Klana Road, Alton, NH
Phone: 603-776-5825

CALABRO BOATHOUSE

169 HOPEWELL ROAD
ALTON, NH 03809



JOHN & MARIE CALABRO

OWNER
169 HOPEWELL ROAD, ALTON, NH 03809
P. (203) 645-1047

BONNETTE, PAGE AND STONE, INC

CONSTRUCTION MANAGER
51 CHURCH STREET, LACONIA, NH 03246
P. (603) 524-3411

WARRENSTREET ARCHITECTS, INC.

PLANNERS, ARCHITECTS, LANDSCAPE ARCHITECTS, INTERIOR DESIGNERS
4 CRESCENT STREET, UNIT 2, CONCORD, NH 03303
P. (603) 225-0640 F. (603) 225-0621

CIVIL	LANDSCAPE	ARCHITECTURE	STRUCTURAL	MECHANICAL/PLUMBING	ELECTRICAL	OTHER	PROJECT:
N/A	N/A	WARRENSTREET ARCHITECTS, INC. 4 CRESCENT STREET, UNIT 2 CONCORD, NH 03303 P. (603) 225-0640 F. (603) 225-0621	N/A	N/A	N/A	N/A	CALABRO BOATHOUSE
		KEY/SITE PLAN PILINGS PLAN FIRST FLOOR PLAN & DIMENSION PLAN FINISH & REFLECTED CEILING PLANS FRAMING & ROOF PLAN EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS BUILDING SECTIONS VERTICAL CIRCULATION ENLARGED PLANS & SECTIONS VERTICAL CIRCULATION ENLARGED PLANS & SECTIONS WALL SECTIONS INTERIOR ELEVATIONS SECTION DETAILS PLAN DETAILS & DOOR & WINDOW SCHEDULES & DETAILS	A100 A110 A111 A112 A113 A201 A202 A203 A204 A205 A321 A401 A501 A603				PROJECT NUMBER: 3544
							ISSUE: NOT FOR CONSTRUCTION SCHEMATIC DESIGN
							ISSUE DATE: 02/05/26
							ARCHITECT OF RECORD

JOHN & MARIE CALABRO
 OWNER
 169 HOPEWELL ROAD
 ALTON, NH 03809
 P. (203) 645-1047

BONNETTE, PAGE AND STONE, INC.
 CONSTRUCTION MANAGER
 51 CHURCH STREET
 LACONIA, NH 03246
 P. (603) 524-3411

PLAN KEY:

PROJECT TITLE / ADDRESS:
CALABRO BOATHOUSE
 169 HOPEWELL ROAD
 ALTON, NH 03809

SCALE: AS NOTED DWN BY: JT
 JOB #: 3544 CHK BY: Checker

PRINT DATE: 2/5/2026 11:12:08 AM

ISSUE DATE:

**NOT FOR CONSTRUCTION
 SCHEMATIC DESIGN**

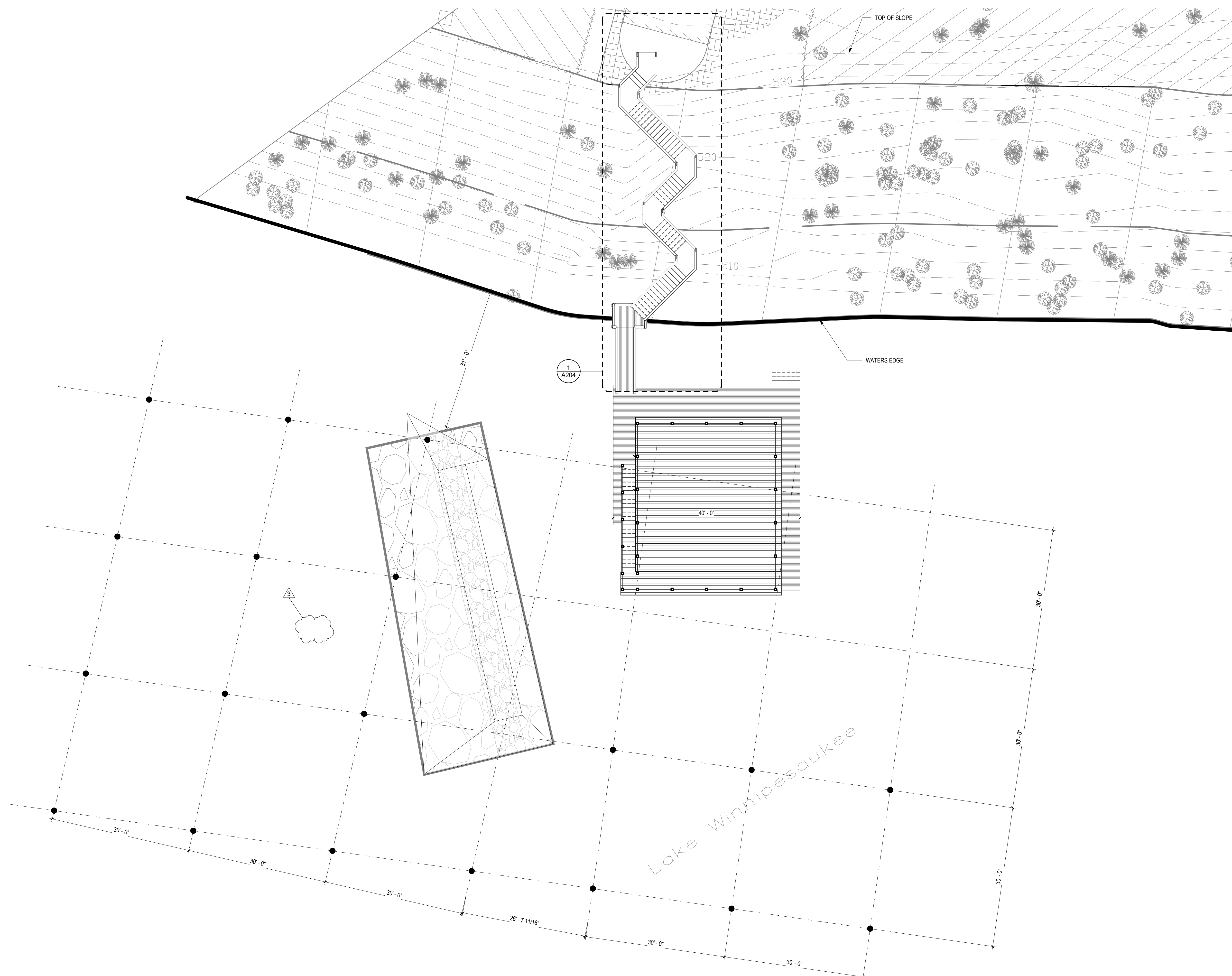
REVISION	DATE	COMMENTS
3	09/30/24	BREAKWATER

KEY/SITE PLAN

A100

SHEET NUMBER: 1 OF 10 ARCHITECTURAL
THE DRAWING AND ITS CONTENT IS THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS INC. WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS PROHIBITED AND PROTECTED UNDER COPYRIGHT LAW.

PROGRESS - NOT FOR CONSTRUCTION



BIM 360/3544 Calabro Alton3544 CALABRO BOATHOUSE.rvt
 TEMPLATE DATE: 11/25/2019
 one eighth inch = one foot
 one quarter inch = one foot
 three quarter inch = one foot
 one inch = one foot
 one and one half inches = one foot
 three inches = one foot

1 SITE PLAN
 A201 1" = 10'-0"

PLAN KEY:

PROJECT TITLE / ADDRESS:
CALABRO BOATHOUSE
 169 HOPEWELL ROAD
 ALTON, NH 03809

SCALE: AS NOTED DWN BY: Author
 JOB #: 3544 CHK BY: Checker

PRINT DATE: 2/5/2026 11:12:08 AM

ISSUE DATE:

**NOT FOR CONSTRUCTION
 SCHEMATIC DESIGN**

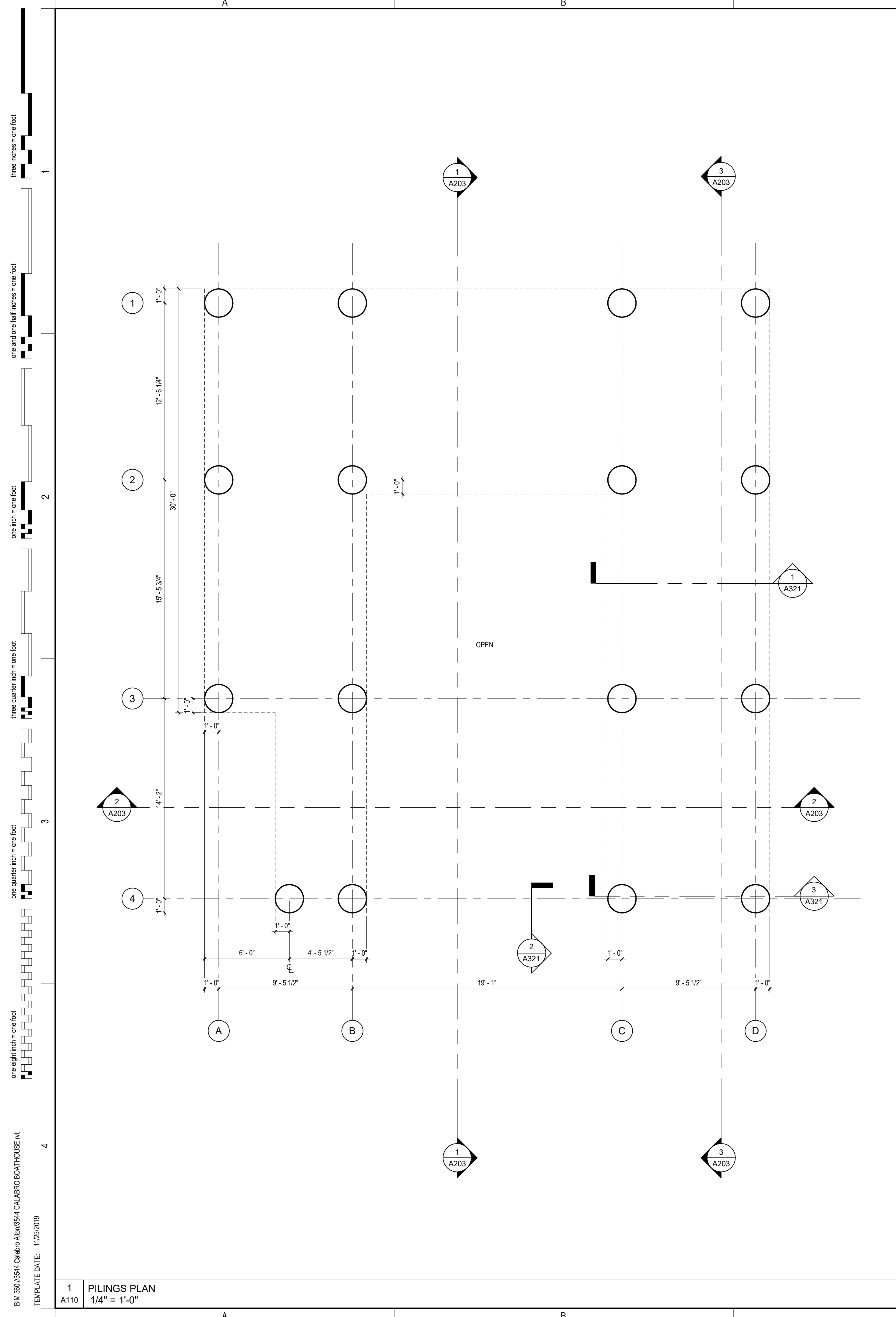
REVISION	DATE	COMMENTS

PILINGS PLAN

A110

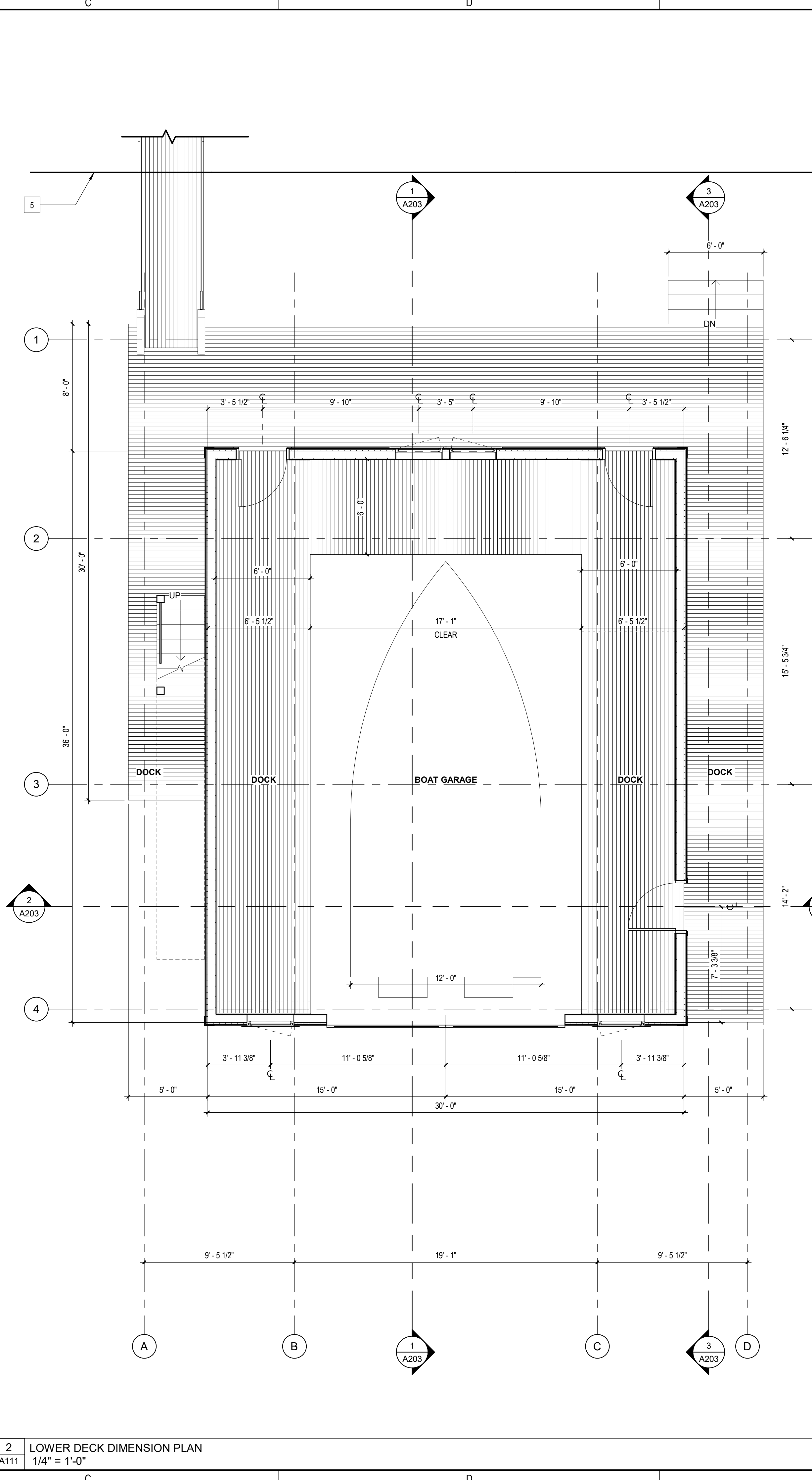
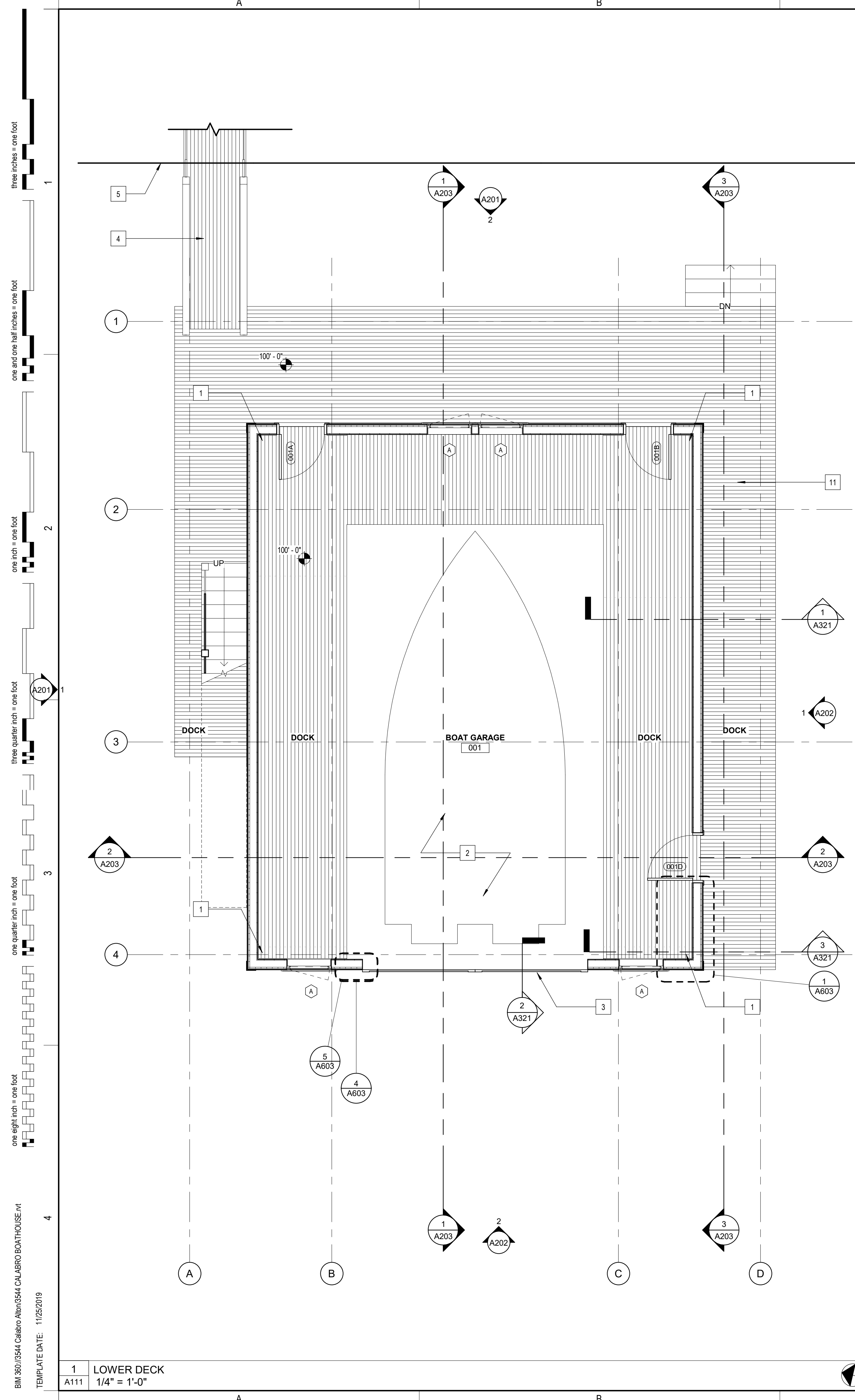
SHEET NUMBER: 2 OF 10 ARCHITECTURAL
THE DRAWING AND ITS CONTENT IS THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS INC. WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS PROHIBITED AND PROTECTED UNDER COPYRIGHT LAW.

PROGRESS - NOT FOR CONSTRUCTION



1 PILINGS PLAN
 1/4" = 1'-0"

BIM 360/3544 Calabro Alton3544 CALABRO BOATHOUSE.rvt
 TEMPLATE DATE: 11/25/2019



GENERAL PLAN NOTES

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
2. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.N.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
3. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
4. REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
5. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
6. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
7. REVIEW PRIOR TO INSTALLATION. ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
8. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
9. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

DIMENSION PLAN NOTES

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
2. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
3. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.N.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
4. SEE A600 SERIES SHEETS FOR PARTITION TYPE DETAILS.
5. SEE A600 SERIES SHEETS AND SPECIFICATIONS FOR FIRESTOPPING REQUIREMENTS.
6. INSTALL GWB TIGHT TO EXTERIOR WALL SHEATHING AT ALL FIRE BARRIERS.
7. ELECTRICAL BOXES INSTALLED IN FIRE RATED PARTITIONS SHALL BE STAGGERED AS REQUIRED BY CODE OR PROVIDED WITH PUTTY PADS AND INSTALLED PER MANUFACTURER'S REQUIREMENTS AND BY CODE.
8. ELECTRICAL BOXES INSTALLED IN PARTITIONS INDICATED AS ACOUSTIC CONSTRUCTION SHALL BE STAGGERED SO THAT BOXES ON OPPOSING SIDES OF A PARTITION DO NOT OCCUR IN THE SAME STUD CAVITY. SECURELY FIT ACOUSTIC INSULATION AROUND ALL SIDES OF THE BOX AND PROVIDE ACOUSTIC SEALANT AT ALL HOLES IN AND AROUND THE PERIMETER OF THE BOX OPENING.
9. REVIEW, PRIOR TO ROUGH-IN, ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
10. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
11. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

FLOOR PLAN LEGEND

- (101) DOOR TAG, SEE DOOR SCHEDULE
- (X) WINDOW TAG, SEE WINDOW SCHEDULE
- (11) ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- A KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- == NEW CONSTRUCTION
- == EXISTING CONSTRUCTION
- NEW DOOR
- EXISTING DOOR

DIMENSION PLAN LEGEND

- (11) PARTITION TAG, SEE A601
- (X) WINDOW TAG, SEE WINDOW SCHEDULE
- A KEYNOTE, SEE DIMENSION PLAN KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- == NEW CONSTRUCTION
- == EXISTING CONSTRUCTION

KEYNOTES

KEY #	DESCRIPTION
1	6" DIAMETER P.T. WOOD POST
2	APPROX. SIZE OF BOAT
3	SLIDING BOAT ENTRY DOOR, SEE A603
4	RAMP UP TO STAIR, SEE A311 & A312
5	APPROX. LOCATION OF SHORELINE
6	WALL SCONCE
7	1X8 T&G DOUGLAS FIR CEILING
8	PVC SOFFIT, TYP.
9	RECESSED CAN FIXTURE (TYP. OF 8)
10	42" GLASS RAIL
11	STAIR UP TO ROOF DECK W/ 42" GLASS RAIL
12	COMPOSITE DECK ROOF, SLOPED DOWN 25/12", SEE WALL SECTIONS

WA
WARRENSTREET ARCHITECTS
 27 Warren Street Concord NH 03301
 T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

JOHN & MARIE CALABRO
 OWNER
 169 HOPEWELL ROAD
 ALTON, NH 03809
 P. (203) 645-1047

BONNETTE, PAGE AND STONE, INC.
 CONSTRUCTION MANAGER
 51 CHURCH STREET
 LACONIA, NH 03246
 P. (603) 524-3411

PLAN KEY:

PROJECT TITLE / ADDRESS:
CALABRO BOATHOUSE
 169 HOPEWELL ROAD
 ALTON, NH 03809

SCALE: AS NOTED DWN BY: JT
 JOB #: 3544 CHK BY: Checker

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FIRST FLOOR PLAN & DIMENSION PLAN

A111

SHEET NUMBER: 3 OF 10 ARCHITECTURAL

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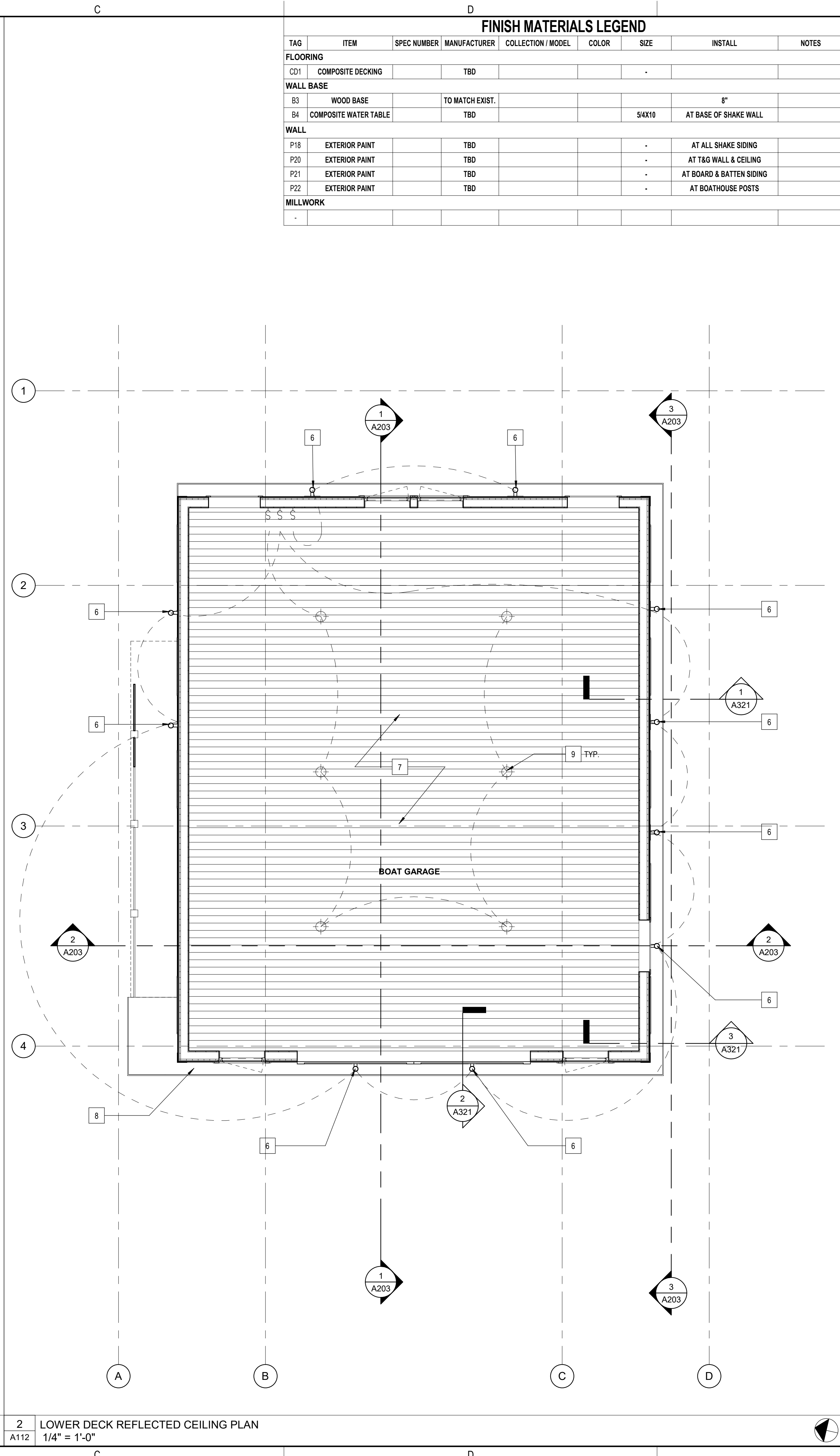
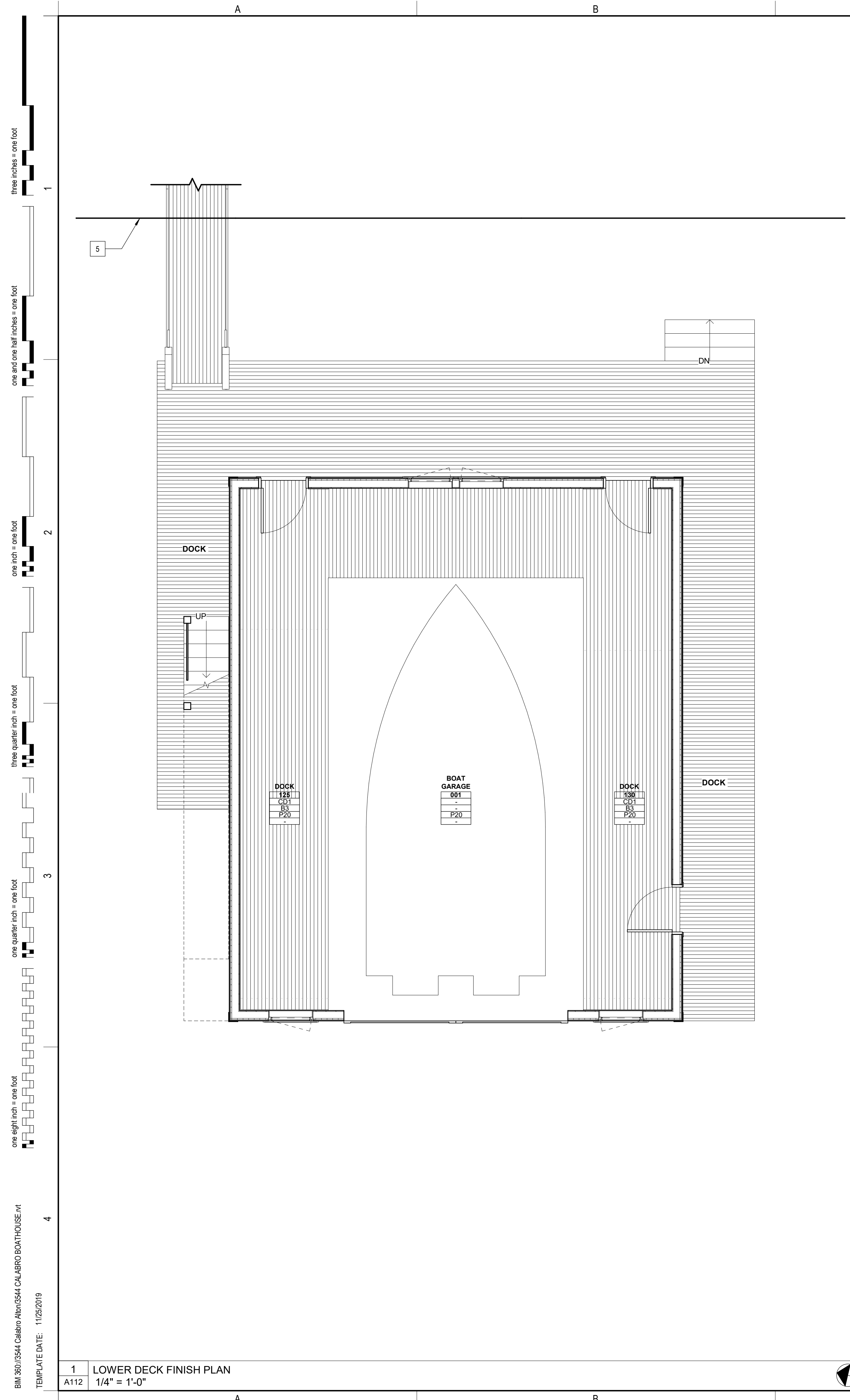
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 TEMPLATE DATE: 11/25/2019

1 LOWER DECK
 A111 1/4" = 1'-0"

2 LOWER DECK DIMENSION PLAN
 A111 1/4" = 1'-0"

PROGRESS - NOT FOR CONSTRUCTION



FINISH MATERIALS LEGEND								
TAG	ITEM	SPEC NUMBER	MANUFACTURER	COLLECTION / MODEL	COLOR	SIZE	INSTALL	NOTES
FLOORING								
CD1	COMPOSITE DECKING		TBD					
WALL BASE								
B3	WOOD BASE		TO MATCH EXIST.				8"	
B4	COMPOSITE WATER TABLE		TBD			5/4X10	AT BASE OF SHAKE WALL	
WALL								
P18	EXTERIOR PAINT		TBD				AT ALL SHAKE SIDING	
P20	EXTERIOR PAINT		TBD				AT T&G WALL & CEILING	
P21	EXTERIOR PAINT		TBD				AT BOARD & BATTEN SIDING	
P22	EXTERIOR PAINT		TBD				AT BOATHOUSE POSTS	
MILLWORK								
-								

- GENERAL FINISH NOTES**
- SEE INTERIOR MATERIALS LEGEND FOR FINISH DESIGNATIONS.
 - SEE DOOR SCHEDULE FOR DOOR & FRAME PAINT COLORS.
 - SEE INTERIOR ELEVATIONS ON 'A400' SERIES SHEETS.
 - RESILIENT FLOOR SHALL EXTEND UNDER ALL CASEWORK.
 - ALL ELECTRICAL FIXTURE PLATES AND COVERS SHALL BE U.N.O.
 - PAINT METAL STAIR GUARD, HANDRAILS & STRINGERS COLOR U.O.N.
 - UNDERSIDE GWB OF STAIR SHALL BE PAINTED WHITE, U.O.N.
 - TEST ALL EXISTING AND NEW CONCRETE SLABS FOR MOISTURE VAPOR EMISSIONS (ASTM F1869), INTERNAL RELATIVE HUMIDITY (ASTM 2170), AND ALKALINITY (ASTM F710). IN THE EVENT THAT TEST VALUES EXCEED FLOORING MANUFACTURER'S LIMITS, NOTIFY ARCHITECT TO DETERMINE REMEDIATION METHOD.

- RCP GENERAL NOTES**
- LIGHT FIXTURE AND MECHANICAL DEVICE LOCATIONS ARE SHOWN FOR ARRANGEMENT PURPOSES ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES.
 - SEE WINDOW HEAD DETAILS FOR CEILING CONDITIONS AT WINDOWS.
 - SEE STRUCTURAL DRAWINGS FOR SEISMIC DESIGN CATEGORY FOR CEILING SUSPENSION SYSTEM.

- FINISH PLAN LEGEND**
- FINISH PLAN ROOM TAG
- | | |
|-----------|--------------------|
| ROOM NAME | ROOM NAME & NUMBER |
| FF | FLOOR FINISH |
| BT | BASE / CHAIR RAIL |
| ST | WALL (ABOVE/BELOW) |
| ML | MILLWORK / MISC. |

- MATERIAL CALLOUT TAG**
- MATERIAL TAG
- ACCENT PAINT LOCATION IN PLAN
- KEYNOTE, SEE KEYNOTE LEGEND BELOW

- RCP ANNOTATION LEGEND**
- KEYNOTE, SEE RCP KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN
- CEILING TAG
- CEILING TYPE DESIGNATION, SEE CEILING TYPES LEGEND
- CEILING HEIGHT, ABOVE FINISHED FLOOR

RCP CEILING TYPES

CEILING TYPE	DESCRIPTION / BASIS OF DESIGN
C1	1X8 T&G DOUGLAS FIR CEILING - PROVIDE P20 PAINT, SEE FINISH SCHEDULE

- FIXTURE LEGEND**
- ROOFER AND RECESSED LIGHT FIXTURES
- RECESSED CAN LIGHT FIXTURE

KEYNOTES

KEY #	DESCRIPTION
1	6" DIAMETER P.T. WOOD POST
2	APPROX. SIZE OF BOAT
3	SLIDING BOAT ENTRY DOOR, SEE A603
4	RAMP UP TO STAIR, SEE A311 & A312
5	APPROX. LOCATION OF SHORELINE
6	WALL SCONCE
7	1X8 T&G DOUGLAS FIR CEILING
8	PVC SOFFIT, TYP.
9	RECESSED CAN FIXTURE (TYP. OF 8)
10	42" GLASS RAIL
11	STAIR UP TO ROOF DECK W/ 42" GLASS RAIL
12	COMPOSITE DECK ROOF, SLOPED DOWN 25/112, SEE WALL SECTIONS

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FINISH & REFLECTED CEILING PLANS

A112

SHEET NUMBER: 4 OF 10 ARCHITECTURAL

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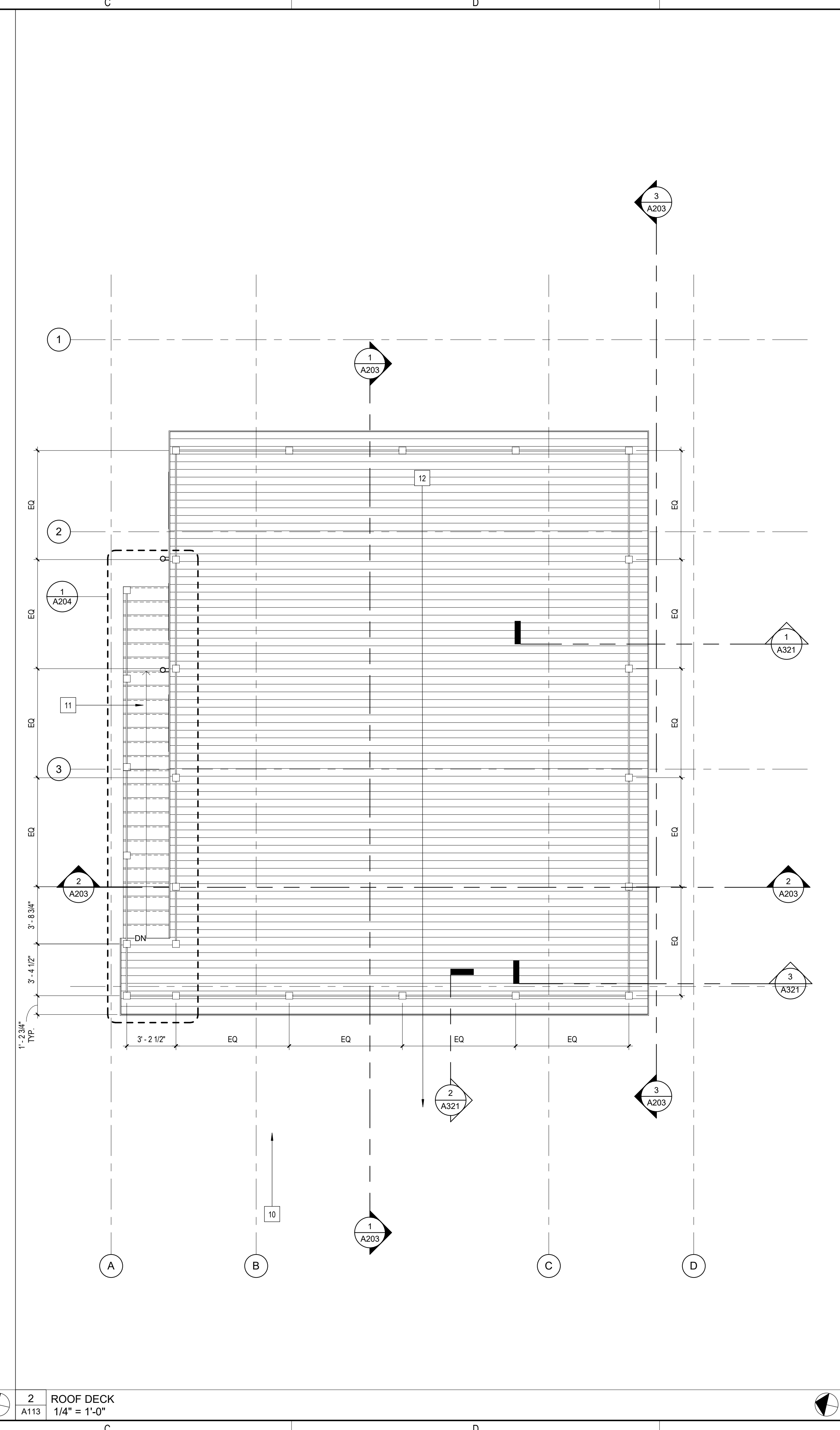
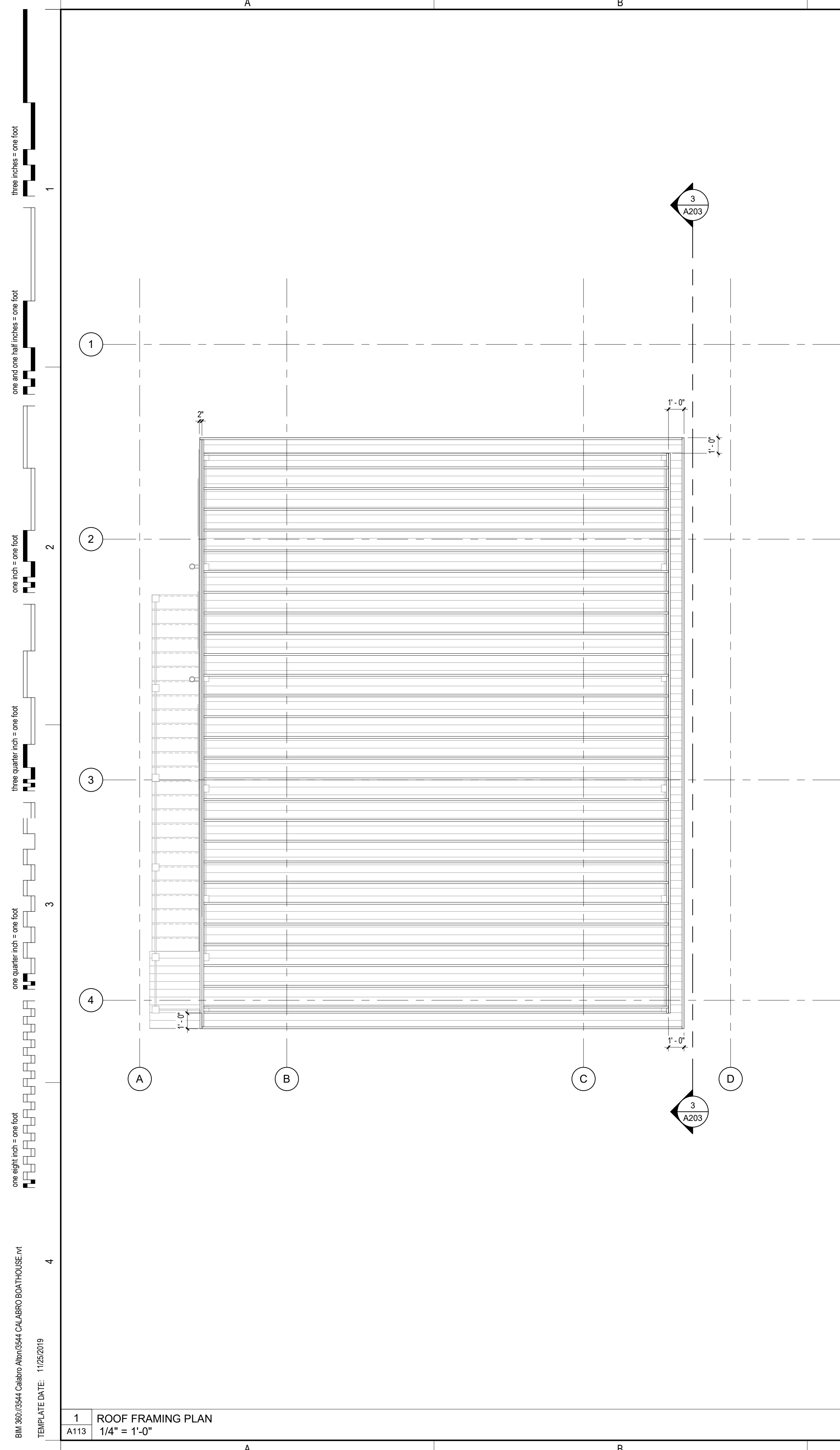
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1 LOWER DECK FINISH PLAN
 A112 1/4" = 1'-0"

2 LOWER DECK REFLECTED CEILING PLAN
 A112 1/4" = 1'-0"

PROGRESS - NOT FOR CONSTRUCTION



- GENERAL ROOF PLAN NOTES**
1. VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF ROOF WORK. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
 2. VERIFY LOCATIONS OF ALL ROOF PENETRATIONS WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. NOTIFY ARCHITECT OF ANY ROOF PENETRATIONS OTHER THAN THOSE SHOWN FOR APPROVAL PRIOR TO CONSTRUCTION.
 3. VERIFY, COORDINATE AND/OR INSTALL ALL ADJACENT AND/OR RELATED FLASHINGS, BLOCKINGS, NAILERS, ETC. AS NECESSARY FOR THE COMPLETE INSTALLATION OF THE ROOF MEMBRANE WHICH ARE REQUIRED FOR A COMPLETE, WARRANTED, WATERTIGHT INSTALLATION.
 4. MEMBRANE ROOF MUST SLOPE AT A MINIMUM OF 1/4" PER FOOT TO DRAINS, INCLUDING VALLEY AND CRICKET SLOPES. IF THERE ARE DEPRESSIONS OR A LACK OF ADEQUATE SLOPE IN THE DECK, NOTIFY ARCHITECT PRIOR TO START OF CONSTRUCTION.
 5. SEE MECHANICAL/PLUMBING DRAWINGS FOR EXACT PLACEMENT OF ROOF TOP EQUIPMENT. EQUIPMENT SHOWN ON ARCHITECTURAL DRAWINGS IS FOR COORDINATION PURPOSES ONLY.
 6. SEE MECHANICAL AND PLUMBING DRAWINGS FOR CURB DETAILS.

- ROOF PLAN LEGEND**
- EXISTING MEMBRANE ROOFING (TO REMAIN)
 - FULLY ADHERED MEMBRANE ROOFING
 - TAPERED INSULATION UNDER FULLY ADHERED MEMBRANE ROOFING
 - RD ROOF DRAIN
 - OFRD OVERFLOW ROOF DRAIN
 - ERD EXISTING ROOF DRAIN
 - x:12 INDICATES DOWNWARD SLOPE OF ROOF
 - A KEYNOTE. SEE ROOF PLAN KEYNOTE LEGEND

KEYNOTES

KEY #	DESCRIPTION
1	6" DIAMETER P.T. WOOD POST
2	APPROX. SIZE OF BOAT
3	SLIDING BOAT ENTRY DOOR. SEE A603
4	RAMP UP TO STAIR. SEE A311 & A312
5	APPROX. LOCATION OF SHORELINE
6	WALL SCOWNE
7	1X8 T&G DOUGLAS FIR CEILING
8	PVC SOFFIT, TYP.
9	RECESSED CAN FIXTURE (TYP. OF 8)
10	42" GLASS RAIL
11	STAIR UP TO ROOF DECK W/ 42" GLASS RAIL
12	COMPOSITE DECK ROOF, SLOPED DOWN 25/112', SEE WALL SECTIONS

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FRAMING & ROOF PLAN

A113

SHEET NUMBER: 5 OF 10 ARCHITECTURAL

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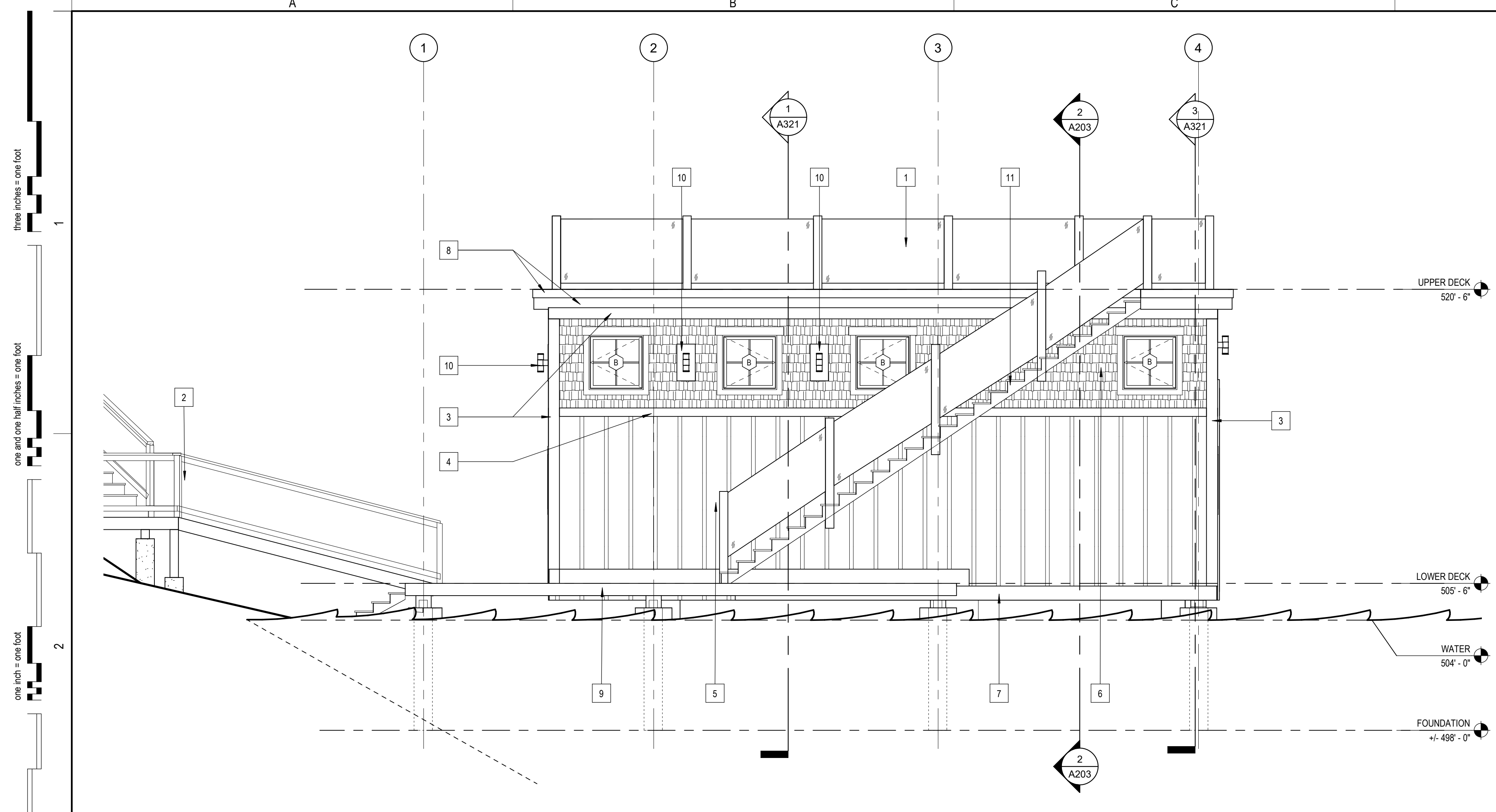
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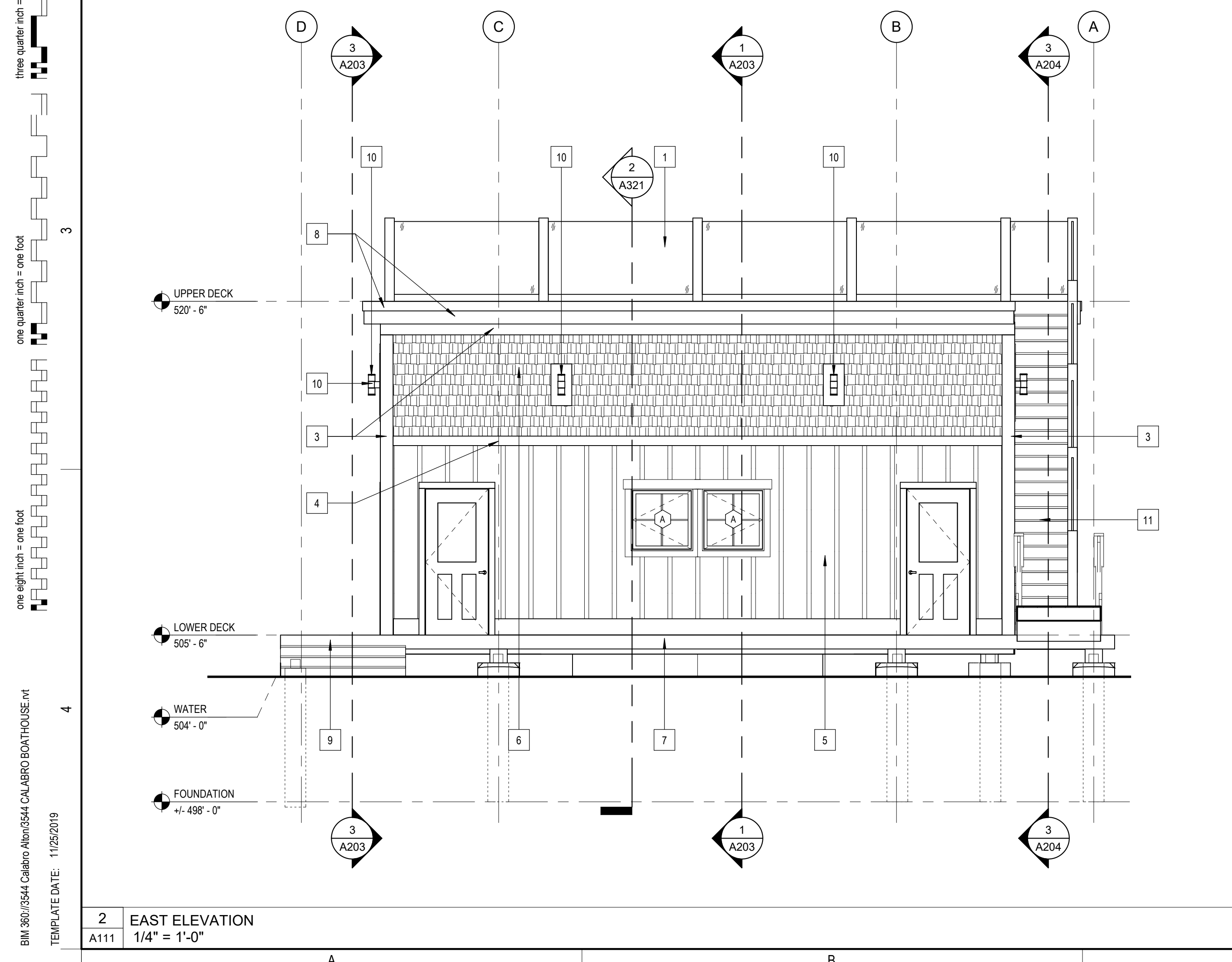
1 ROOF FRAMING PLAN
 1/4" = 1'-0"

2 ROOF DECK
 1/4" = 1'-0"

PROGRESS - NOT FOR CONSTRUCTION



1 NORTH ELEVATION
A201
1/4" = 1'-0"



2 EAST ELEVATION
A111
1/4" = 1'-0"

GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- X WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	42" GLASS RAIL
2	42" WIRE MESH RAILING
3	5/4X8 PVC TRIM, PTD, MITER CORNERS, TYP.
4	5/4X8 PVC TRIM, ALIGN W/ EXTERIOR FACE OF BOARD & BATTEN SIDING
5	BOARD & BATTEN SIDING, PROVIDE P21 FINISH
6	SHINGLE SIDING, PROVIDE PT18 FINISH
7	5/4X10 PVC WATER TABLE, PTD
8	1X TRIM, PAINTED
9	COMPOSITE DECKING
10	SCONCE LIGHTING
11	STAIR UP TO ROOF DECK W/ 42" GLASS RAIL
12	SLIDING DOOR TRACK

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EXTERIOR ELEVATIONS

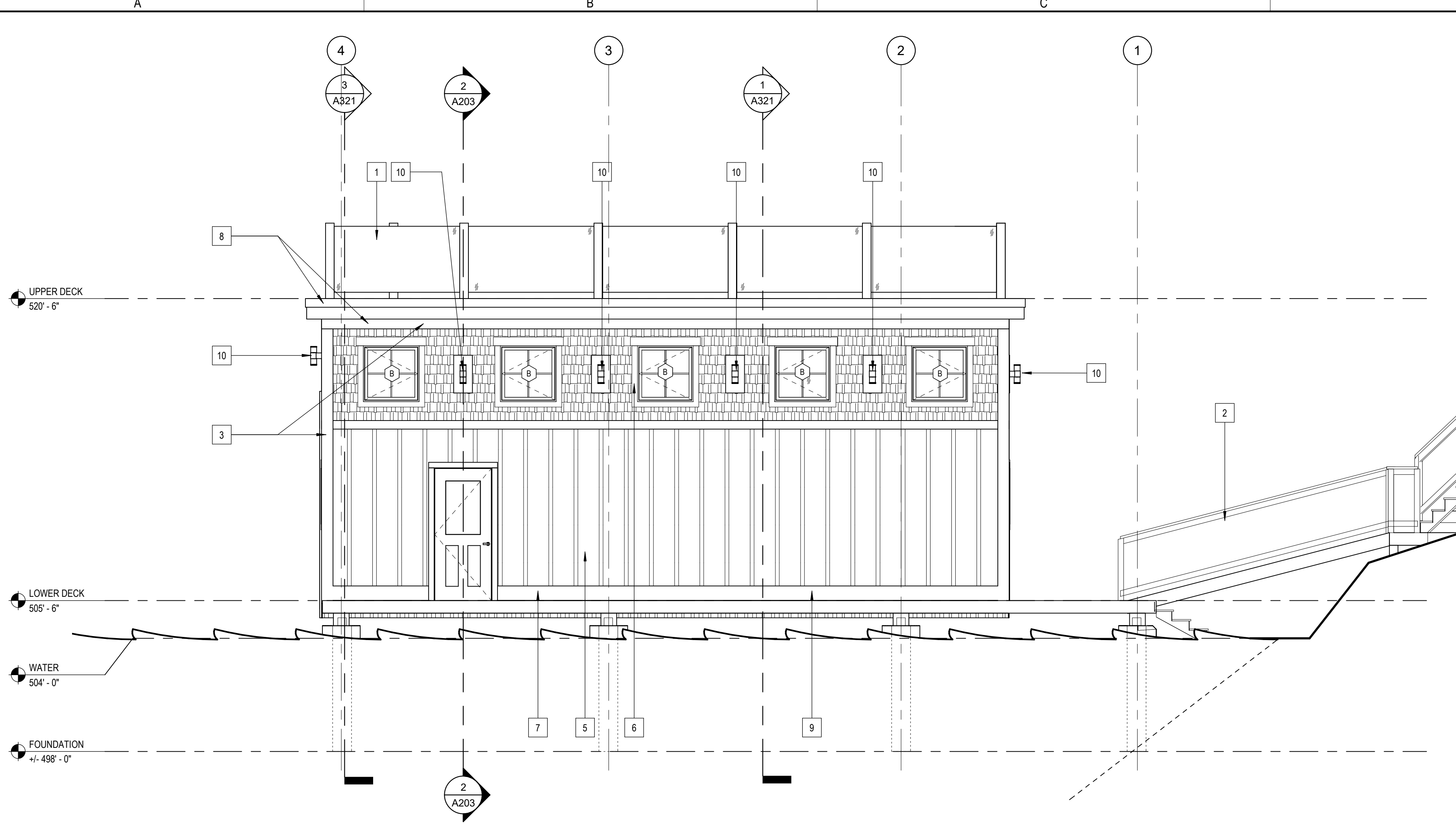
A201

SHEET NUMBER: 6 OF 10 ARCHITECTURAL
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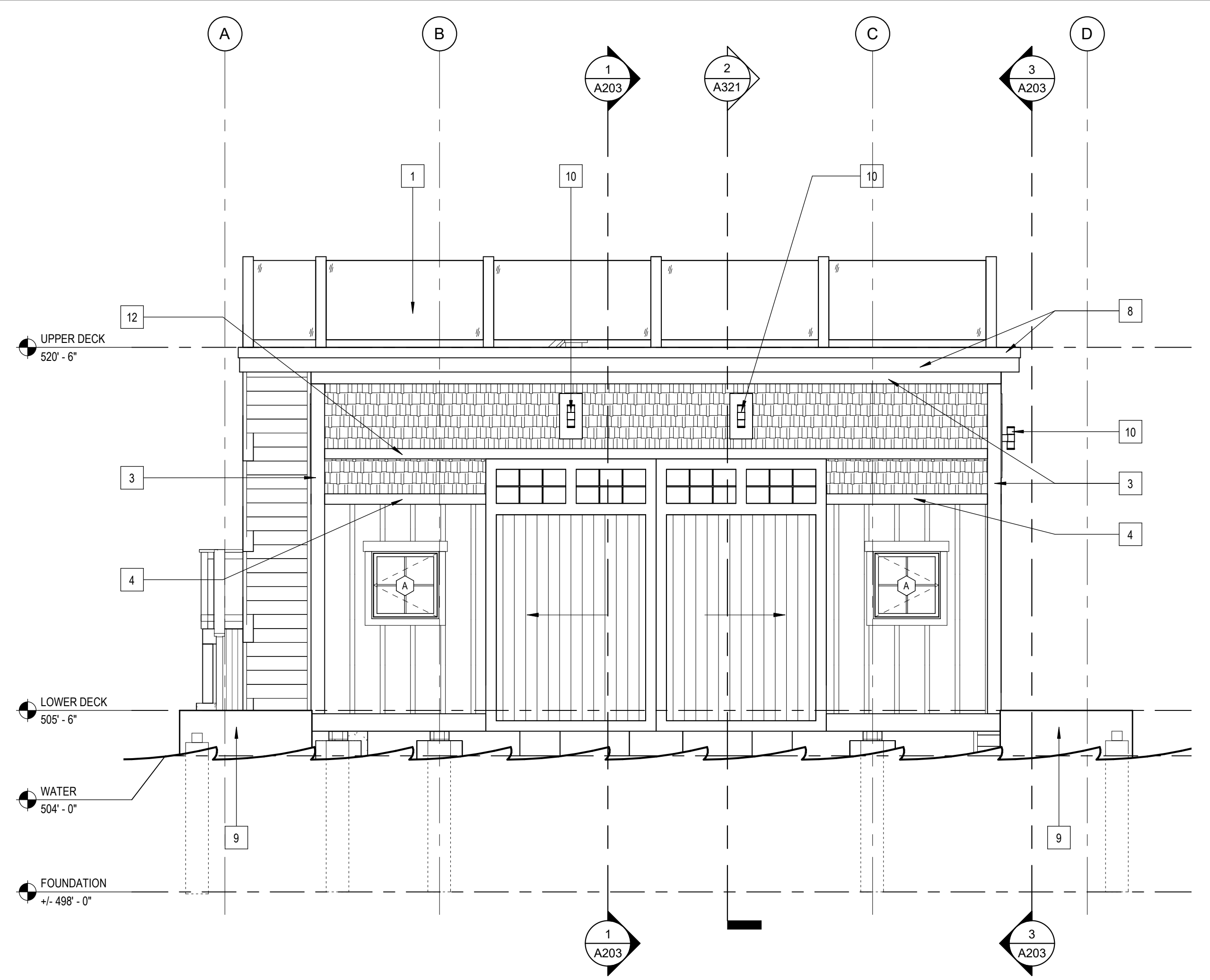
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three eighths = one foot
 one and one half inches = one foot
 one inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot
 BIM 360/3544 Calabro Altam3544 CALABRO BOATHOUSE.rvt
 TEMPLATE DATE: 11/25/2019



1 SOUTH ELEVATION
A111 1/4" = 1'-0"



2 WEST ELEVATION
A111 1/4" = 1'-0"

GENERAL ELEVATION NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- A KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- X WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	42" GLASS RAIL
2	42" WIRE MESH RAILING
3	5/4X8 PVC TRIM, PTD. MITER CORNERS, TYP.
4	5/4X8 PVC TRIM; ALIGN W/ EXTERIOR FACE OF BOARD & BATTEN SIDING
5	BOARD & BATTEN SIDING; PROVIDE P21 FINISH
6	SHINGLE SIDING; PROVIDE PT18 FINISH
7	5/4X10 PVC WATER TABLE, PTD.
8	1X TRIM, PAINTED
9	COMPOSITE DECKING
10	SCONCE LIGHTING
11	STAIR UP TO ROOF DECK W/ 42" GLASS RAIL
12	SLIDING DOOR TRACK

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EXTERIOR ELEVATIONS

A202

SHEET NUMBER: 7 OF 10 ARCHITECTURAL
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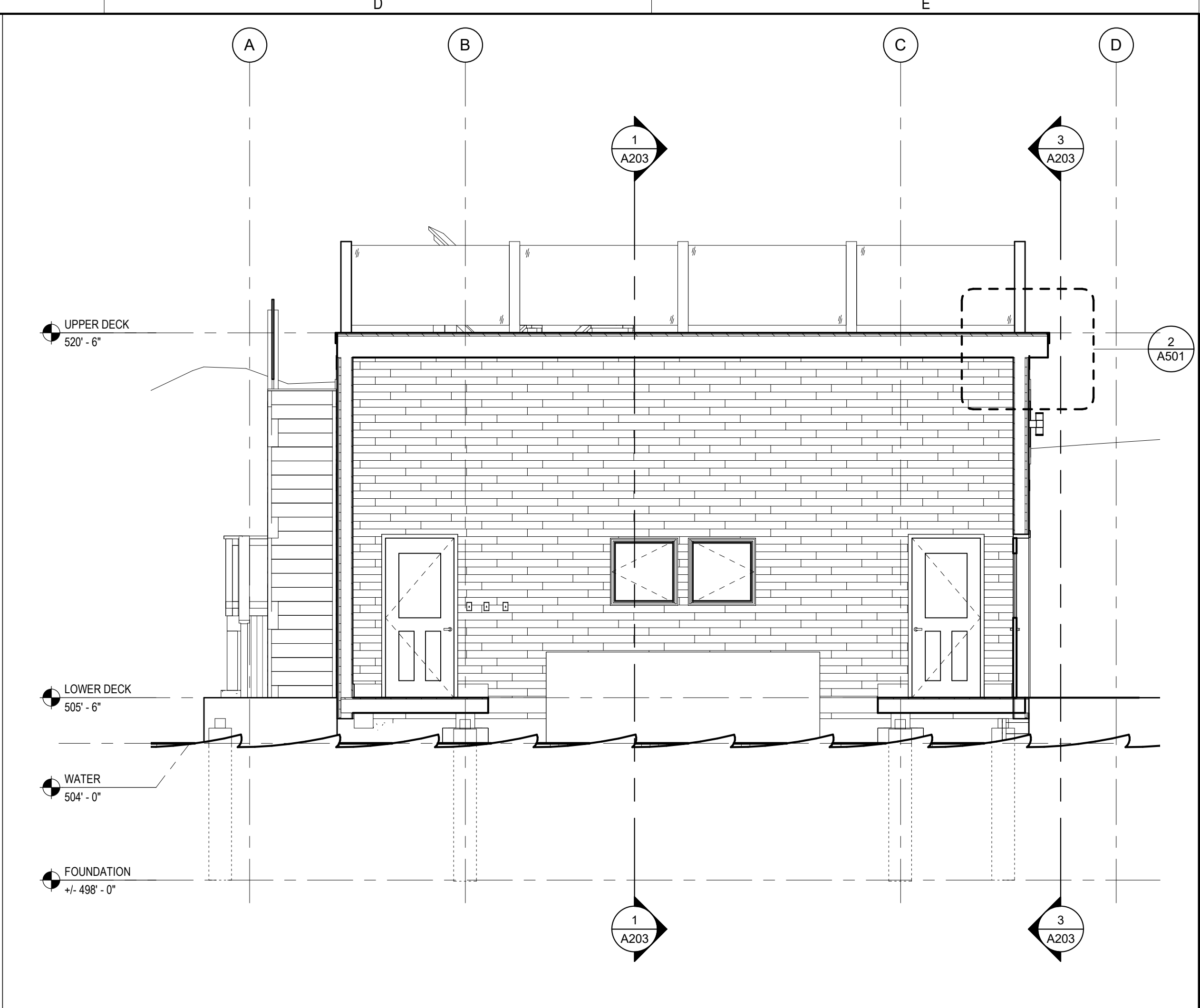
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BUILDING SECTIONS

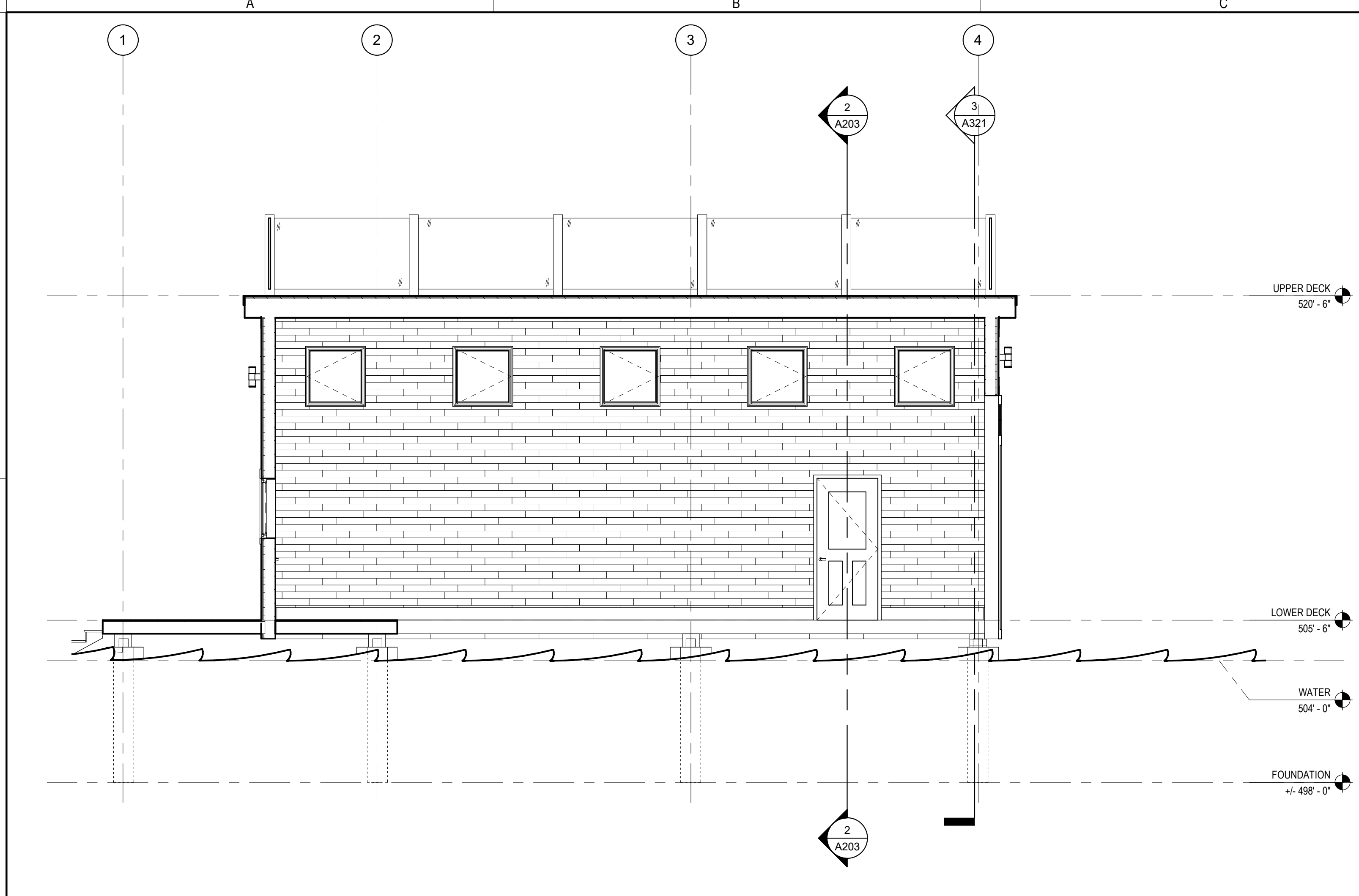
A203

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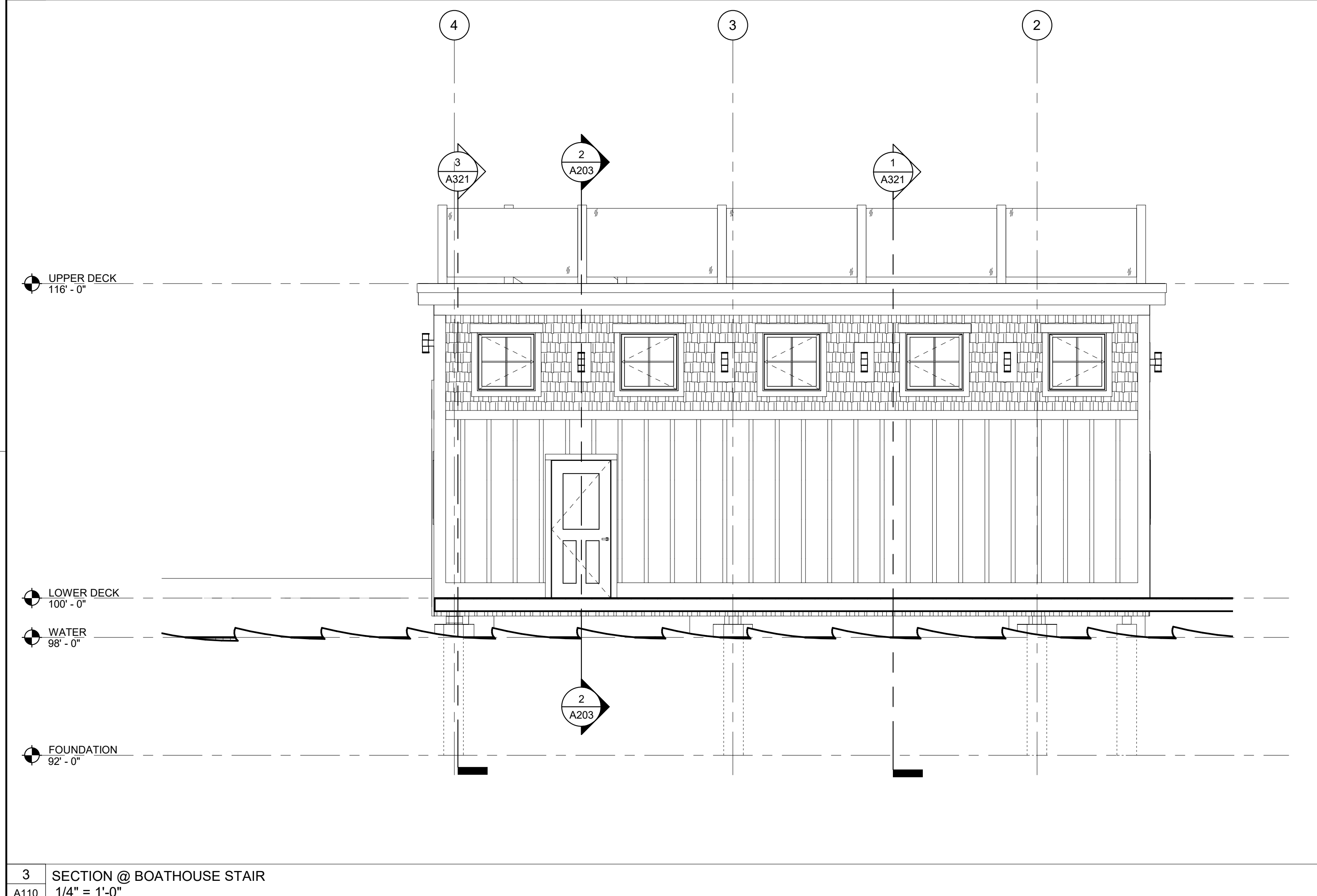
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2 BUILDING SECTION B
 A110 1/4" = 1'-0"



1 BUILDING SECTION A
 A110 1/4" = 1'-0"



3 SECTION @ BOATHOUSE STAIR
 A110 1/4" = 1'-0"

three eighths = one foot
 one and one half inches = one foot
 one inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot
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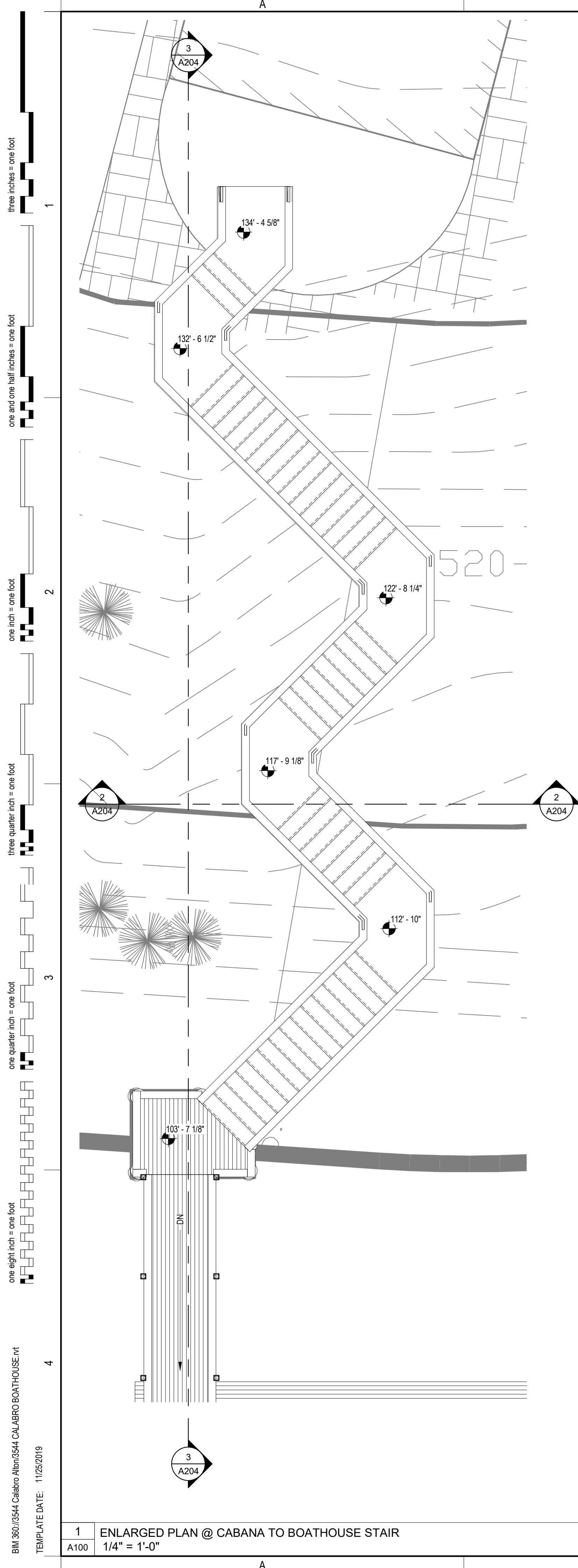
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**VERTICAL CIRCULATION
 ENLARGED PLANS &
 SECTIONS**

A204

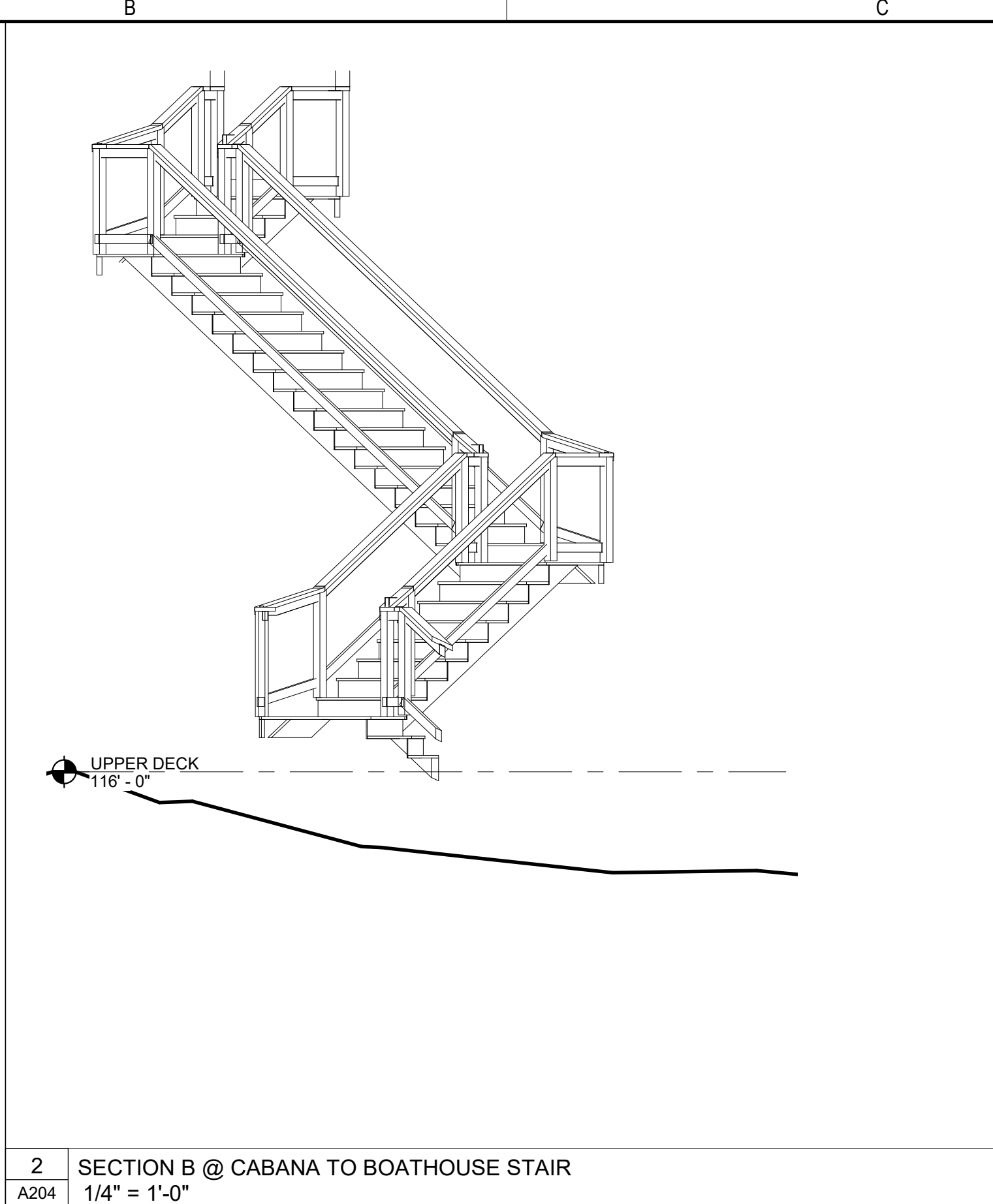
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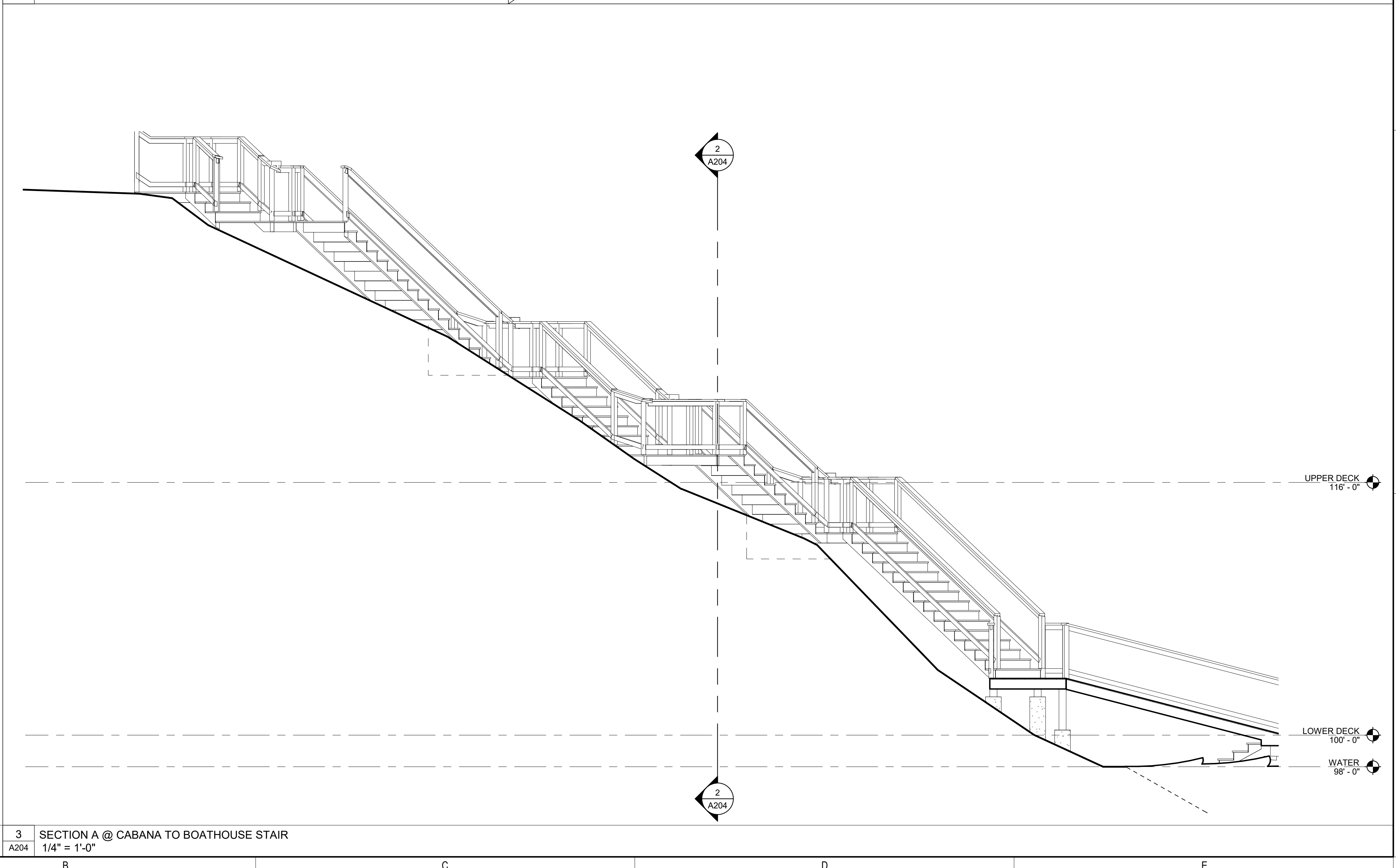


1 ENLARGED PLAN @ CABANA TO BOATHOUSE STAIR
 A100 1/4" = 1'-0"

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2 SECTION B @ CABANA TO BOATHOUSE STAIR
 A204 1/4" = 1'-0"



3 SECTION A @ CABANA TO BOATHOUSE STAIR
 A204 1/4" = 1'-0"

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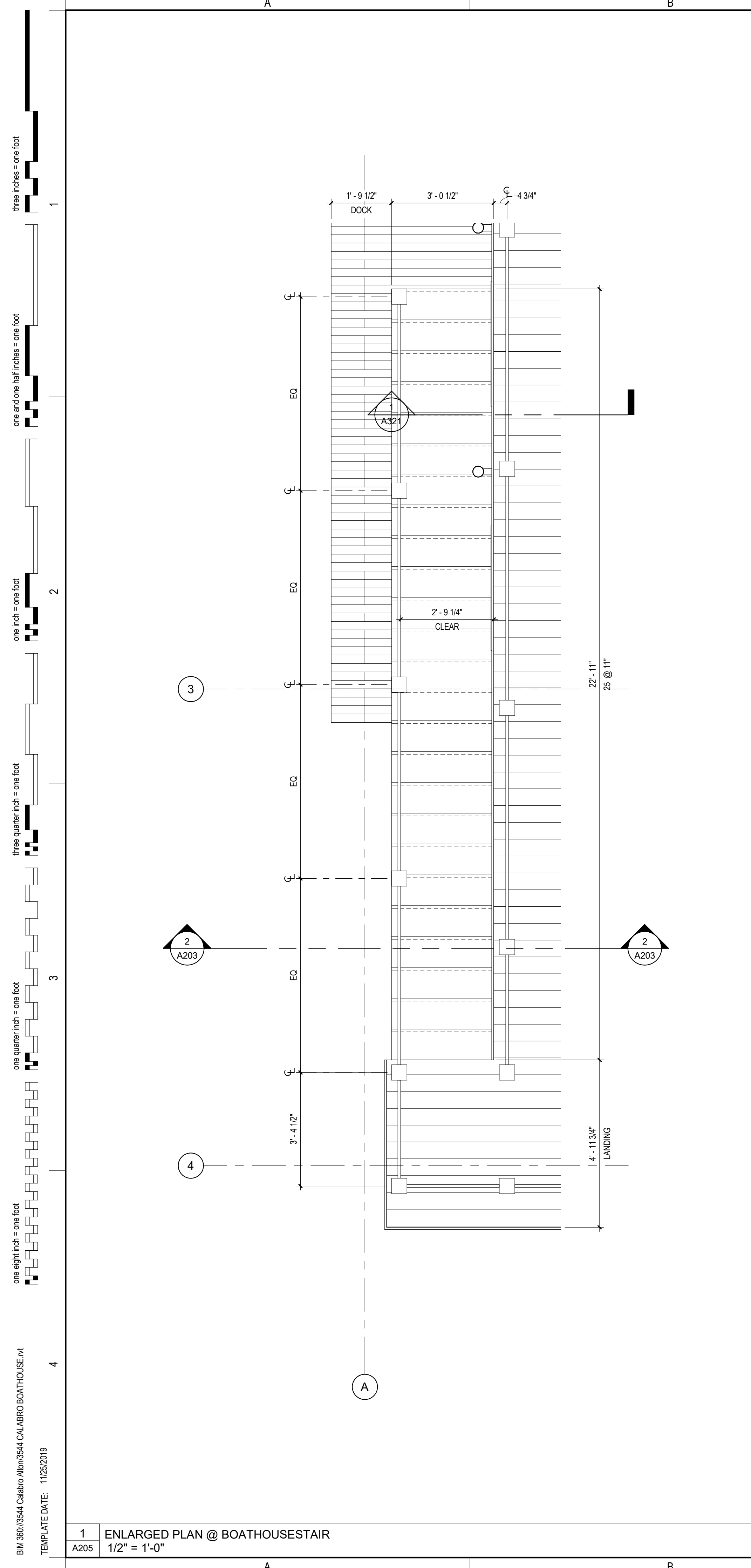
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**VERTICAL CIRCULATION
 ENLARGED PLANS &
 SECTIONS**

A205

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1 ENLARGED PLAN @ BOATHOUSESTAIR
 1/2" = 1'-0"

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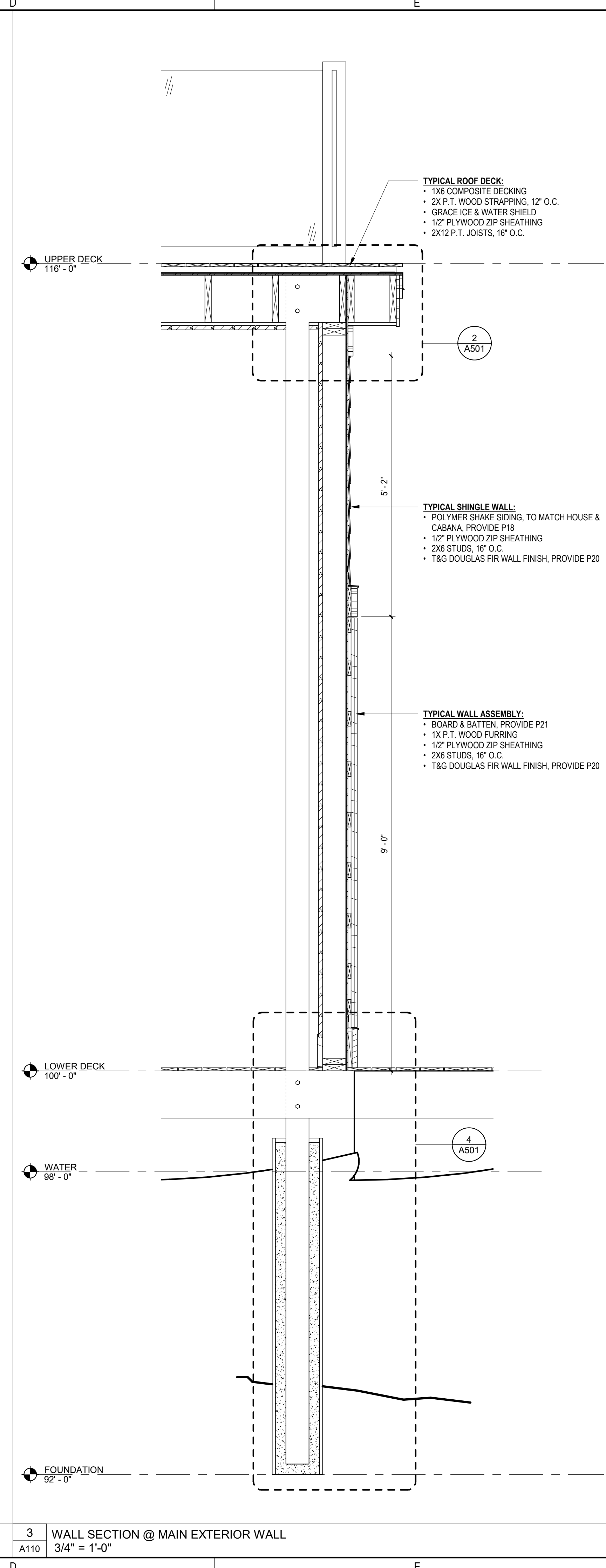
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WALL SECTIONS

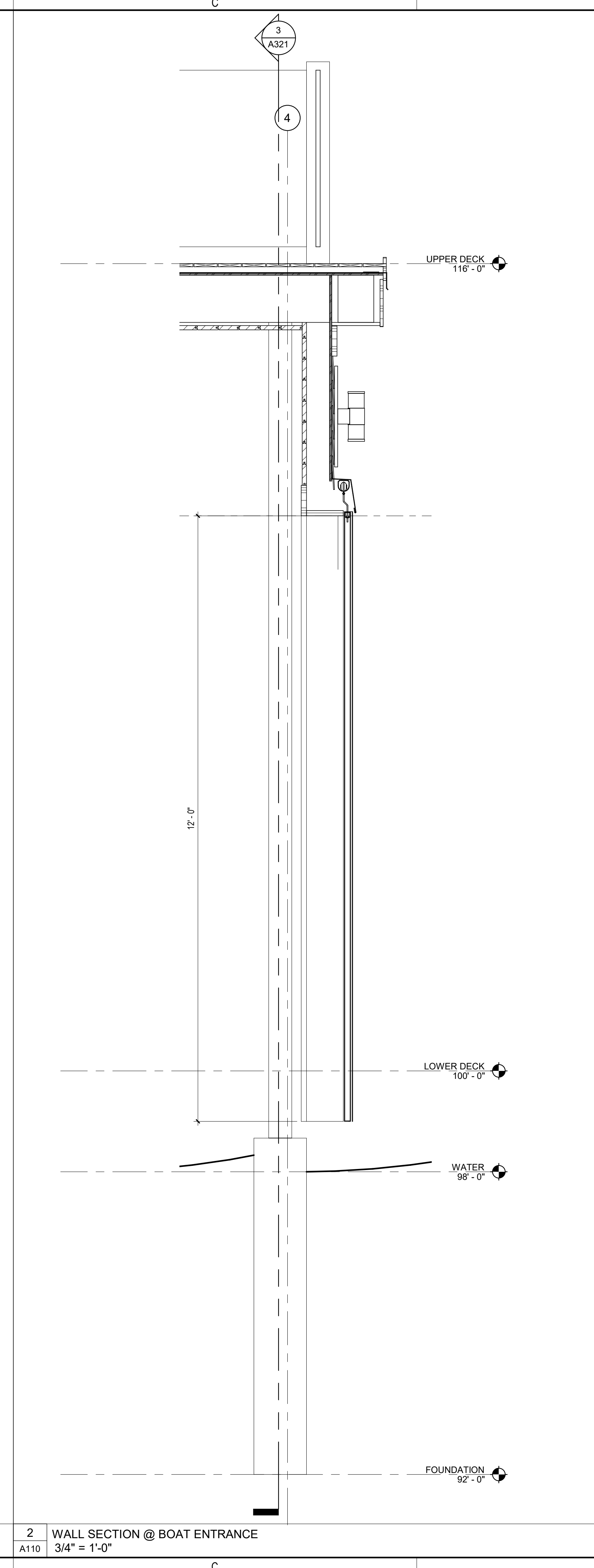
A321

SHEET NUMBER: 11 OF 10 ARCHITECTURAL
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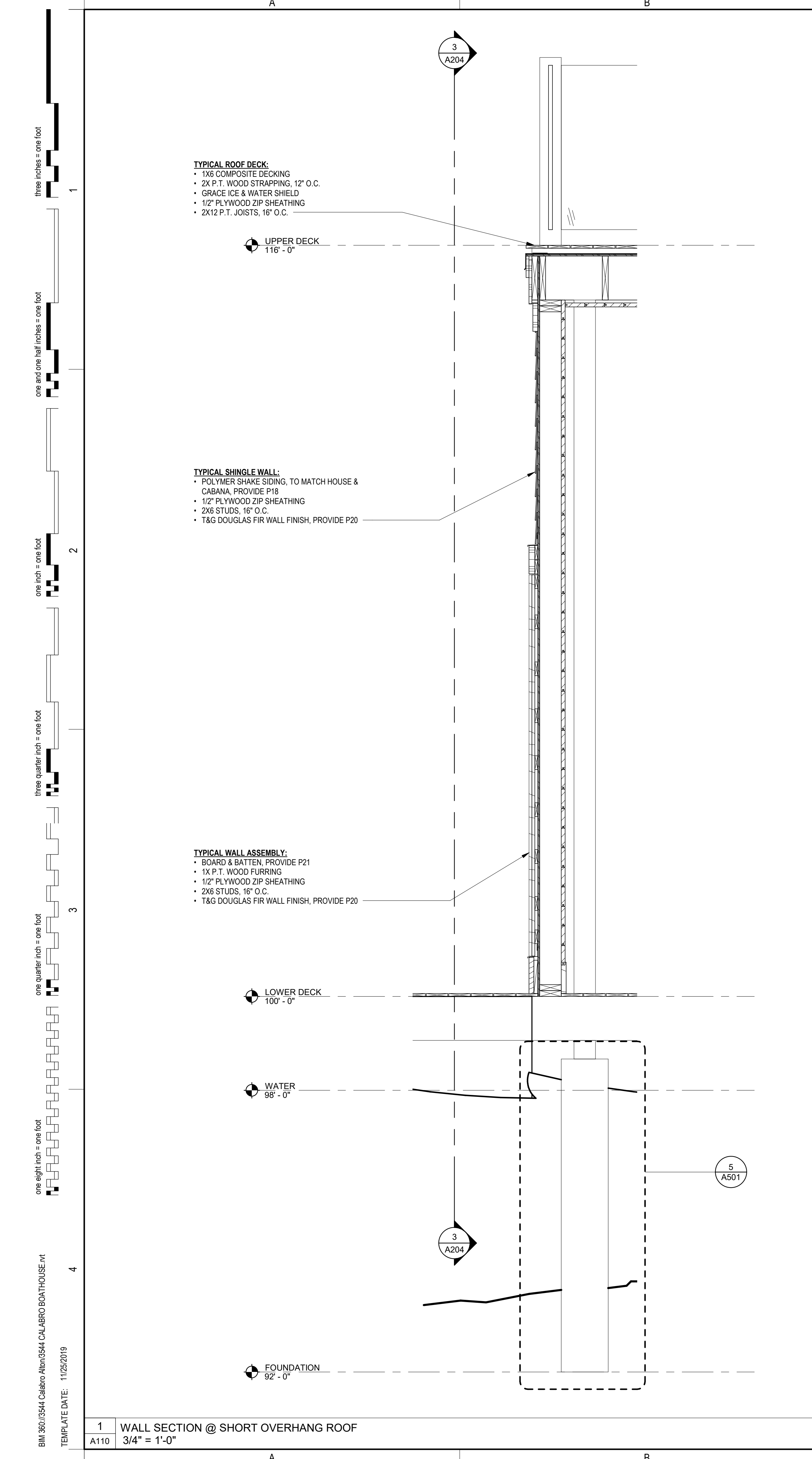
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3 WALL SECTION @ MAIN EXTERIOR WALL
3/4" = 1'-0"



2 WALL SECTION @ BOAT ENTRANCE
3/4" = 1'-0"



1 WALL SECTION @ SHORT OVERHANG ROOF
3/4" = 1'-0"

- TYPICAL ROOF DECK:**
- 1X6 COMPOSITE DECKING
 - 2X P.T. WOOD STRAPPING, 12" O.C.
 - GRACE ICE & WATER SHIELD
 - 1/2" PLYWOOD ZIP SHEATHING
 - 2X12 P.T. JOISTS, 16" O.C.

- TYPICAL SHINGLE WALL:**
- POLYMER SHAKE SIDING, TO MATCH HOUSE & CABANA, PROVIDE P18
 - 1/2" PLYWOOD ZIP SHEATHING
 - 2X6 STUDS, 16" O.C.
 - T&G DOUGLAS FIR WALL FINISH, PROVIDE P20

- TYPICAL WALL ASSEMBLY:**
- BOARD & BATTEN, PROVIDE P21
 - 1X P.T. WOOD FURRING
 - 1/2" PLYWOOD ZIP SHEATHING
 - 2X6 STUDS, 16" O.C.
 - T&G DOUGLAS FIR WALL FINISH, PROVIDE P20

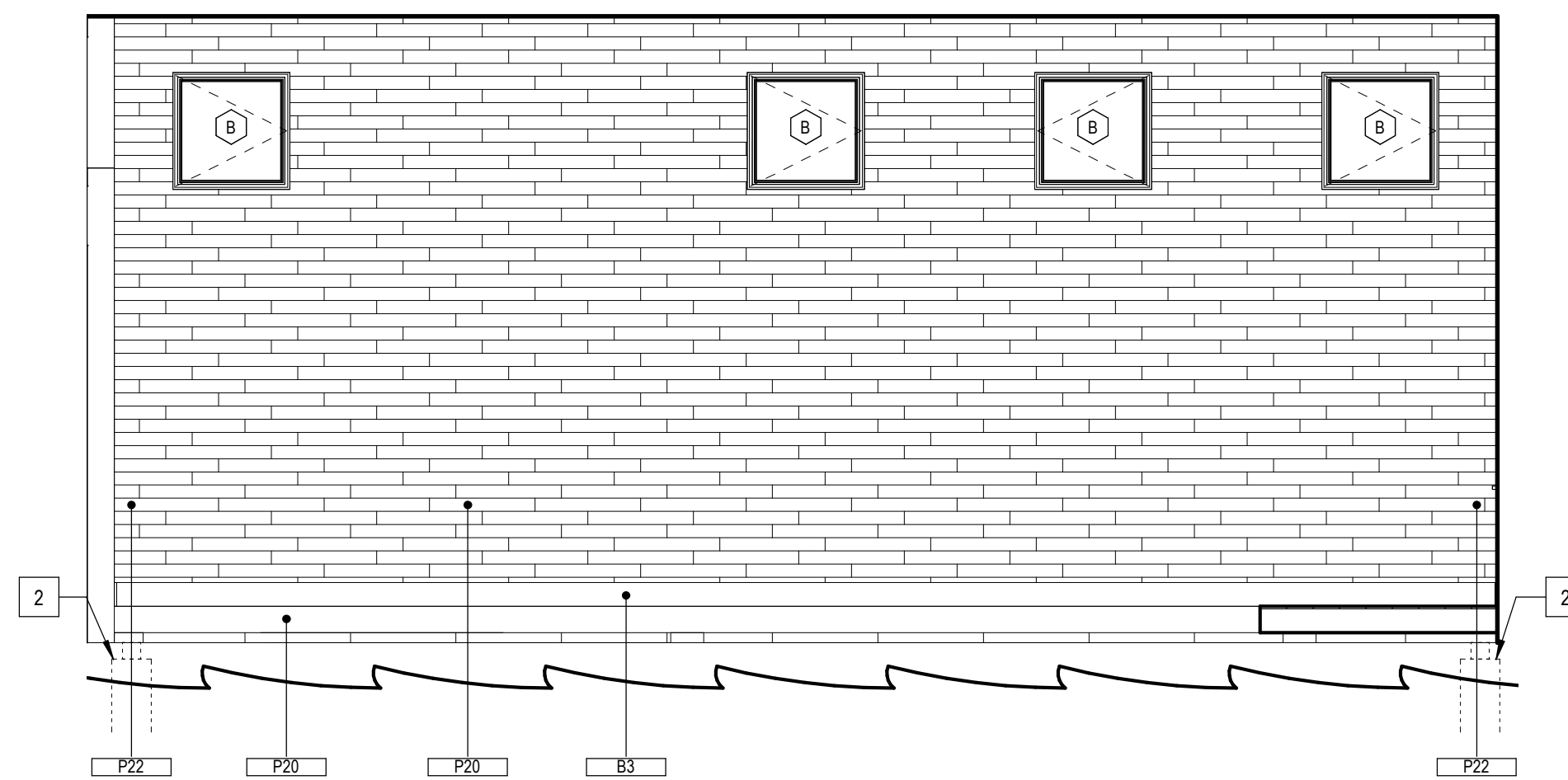
- TYPICAL ROOF DECK:**
- 1X6 COMPOSITE DECKING
 - 2X P.T. WOOD STRAPPING, 12" O.C.
 - GRACE ICE & WATER SHIELD
 - 1/2" PLYWOOD ZIP SHEATHING
 - 2X12 P.T. JOISTS, 16" O.C.

- TYPICAL SHINGLE WALL:**
- POLYMER SHAKE SIDING, TO MATCH HOUSE & CABANA, PROVIDE P18
 - 1/2" PLYWOOD ZIP SHEATHING
 - 2X6 STUDS, 16" O.C.
 - T&G DOUGLAS FIR WALL FINISH, PROVIDE P20

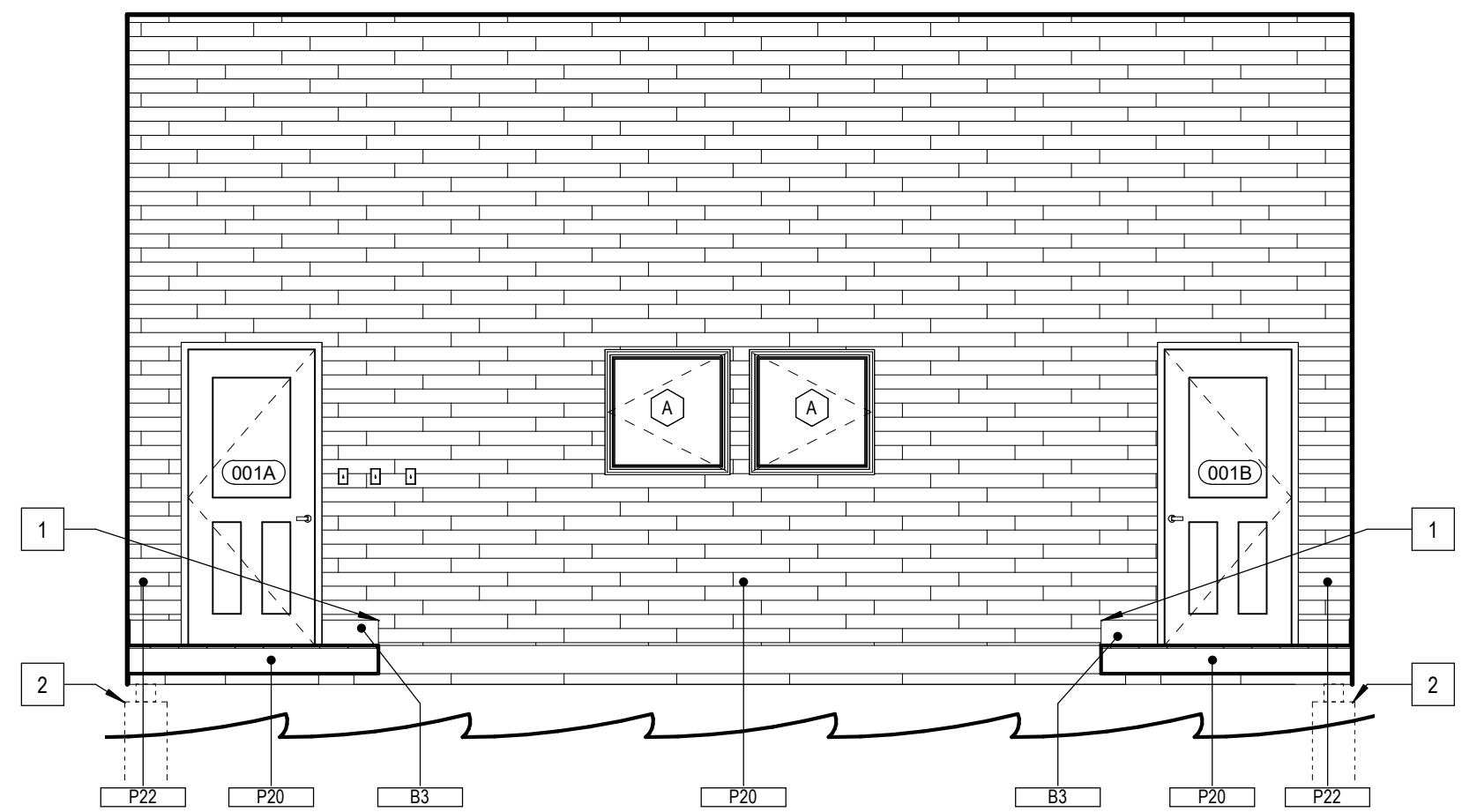
- TYPICAL WALL ASSEMBLY:**
- BOARD & BATTEN, PROVIDE P21
 - 1X P.T. WOOD FURRING
 - 1/2" PLYWOOD ZIP SHEATHING
 - 2X6 STUDS, 16" O.C.
 - T&G DOUGLAS FIR WALL FINISH, PROVIDE P20

BIM 360/3544 Calabro Alton3544 CALABRO BOATHOUSE.rvt
TEMPLATE DATE: 11/25/2019

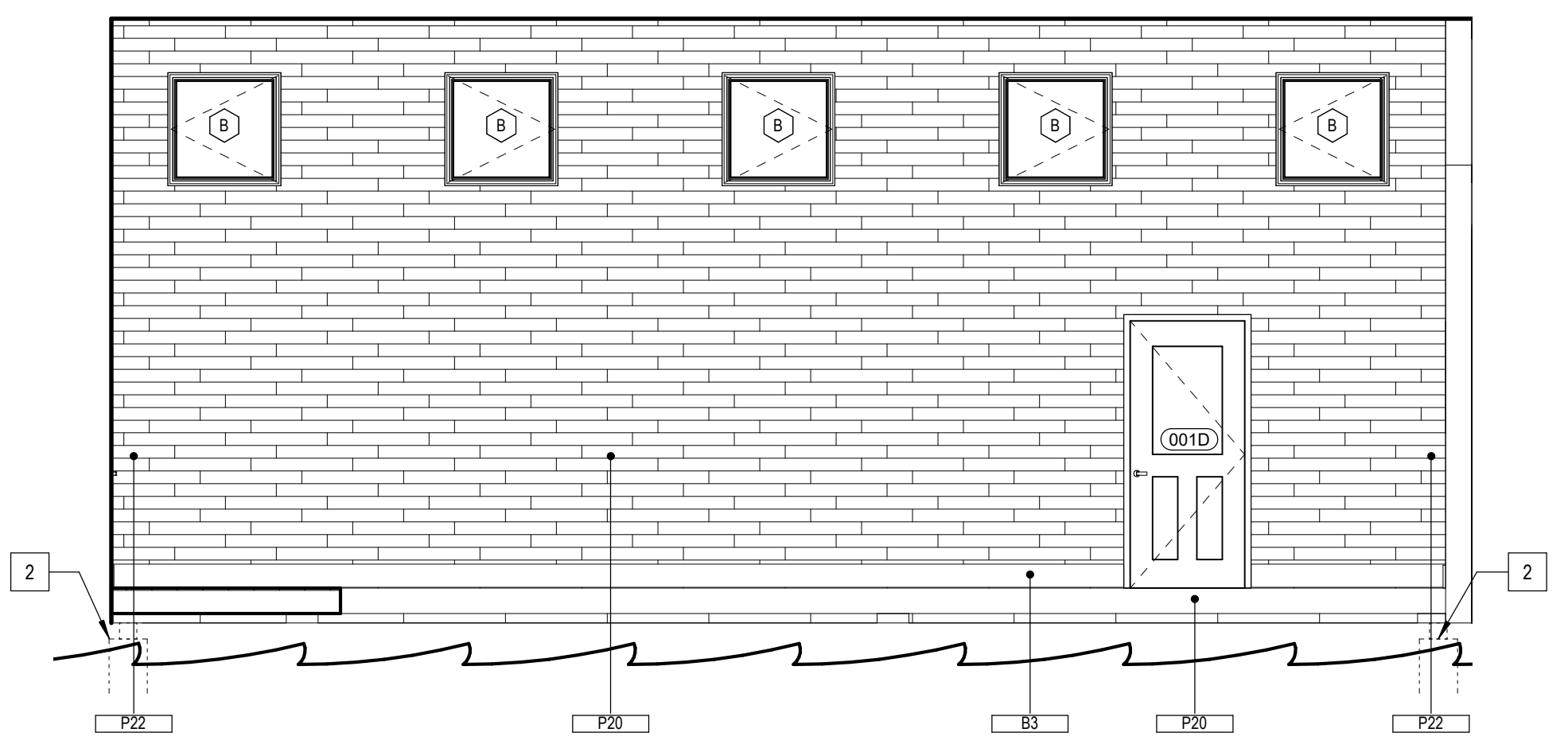
BIM 360/3544 Calabro Altam3544 CALABRO BOATHOUSE.rvt
 TEMPLATE DATE: 11/25/2019
 three inches = one foot
 one and one half inches = one foot
 one inch = one foot
 three quarter inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot



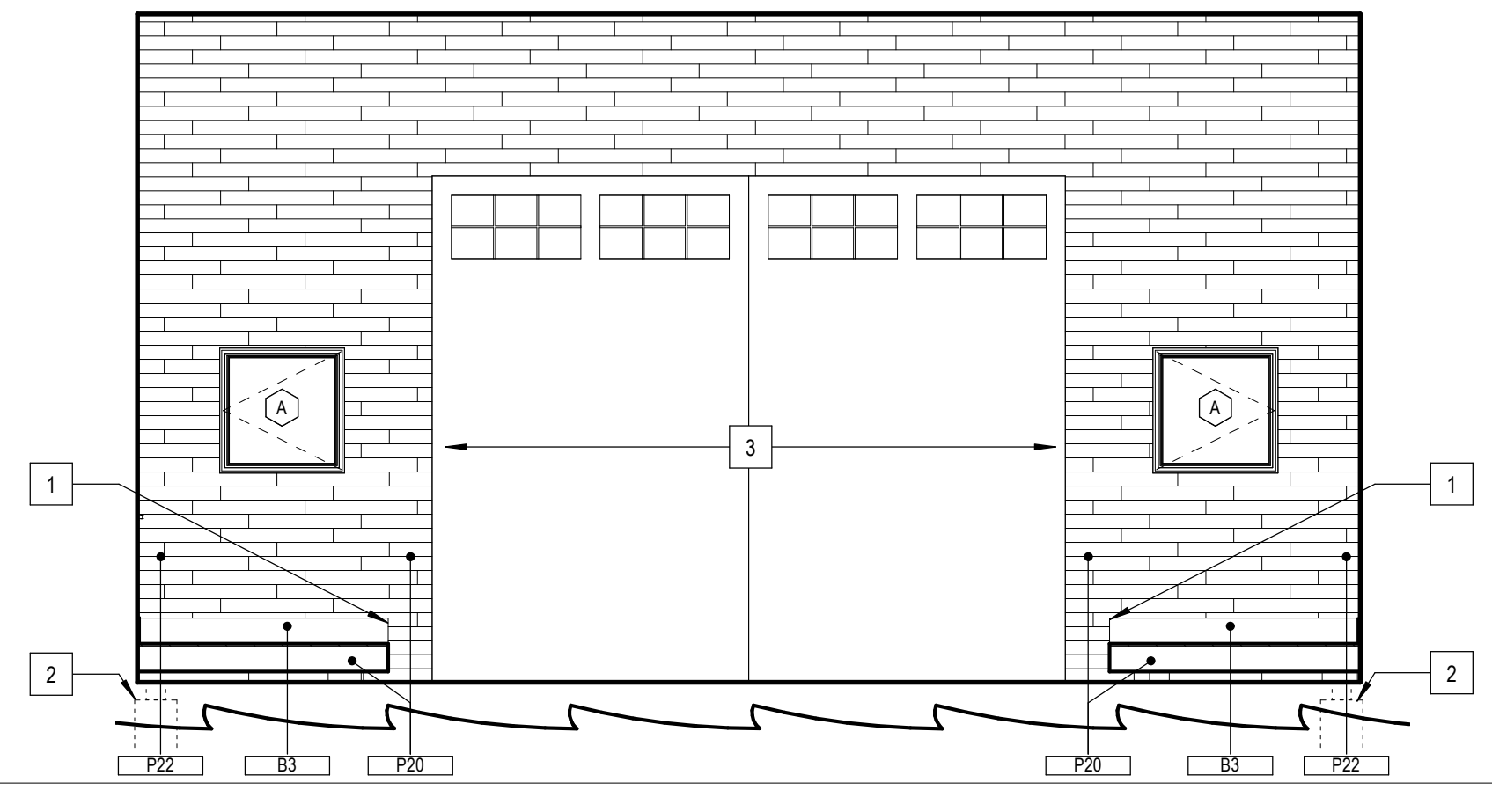
2 001 - BOAT GARAGE - N
1/4" = 1'-0"



3 001 - BOAT GARAGE - E
1/4" = 1'-0"



4 001 - BOAT GARAGE - S
1/4" = 1'-0"



5 001 - BOAT GARAGE - W
1/4" = 1'-0"

INTERIOR ELEVATION NOTES

1. REVIEW PRIOR TO ROUGH-IN, ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
2. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
3. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.
4. CONFIRM DIMENSIONS OF OWNER SUPPLIED APPLIANCES OR EQUIPMENT PRIOR TO ORDERING FIXED CASEWORK.

PLAN & ELEVATION LEGEND

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE WINDOW SCHEDULE
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- MATERIAL TAG, SEE MATERIAL SCHEDULE
- CASEWORK TAG, SEE CASEWORK TYPES
- KEYNOTE, SEE PLAN & ELEV KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN

PLAN & ELEV KEYNOTES

KEY #	DESCRIPTION
1	TERMINATE BASE @ EDGE OF DOCK
2	CONCRETE FOOTING (DAHSED)
3	SLIDING BOAT ENTRY DOOR, SEE A603

WARRENSTREET ARCHITECTS
 27 Warren Street Concord NH 03301
 T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

JOHN & MARIE CALABRO
 OWNER
 169 HOPEWELL ROAD
 ALTON, NH 03809
 P. (203) 645-1047

BONNETTE, PAGE AND STONE, INC.
 CONSTRUCTION MANAGER
 51 CHURCH STREET
 LACONIA, NH 03246
 P. (603) 524-3411

PLAN KEY:

PROJECT TITLE / ADDRESS:
CALABRO BOATHOUSE
 169 HOPEWELL ROAD
 ALTON, NH 03809

SCALE: AS NOTED DWN BY: JT
 JOB #: 3544 CHK BY: Checker

PRINT DATE: 2/5/2026 11:12:13 AM

ISSUE DATE:

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REVISION	DATE	COMMENTS

INTERIOR ELEVATIONS

A401

SHEET NUMBER: 12 OF 10 ARCHITECTURAL
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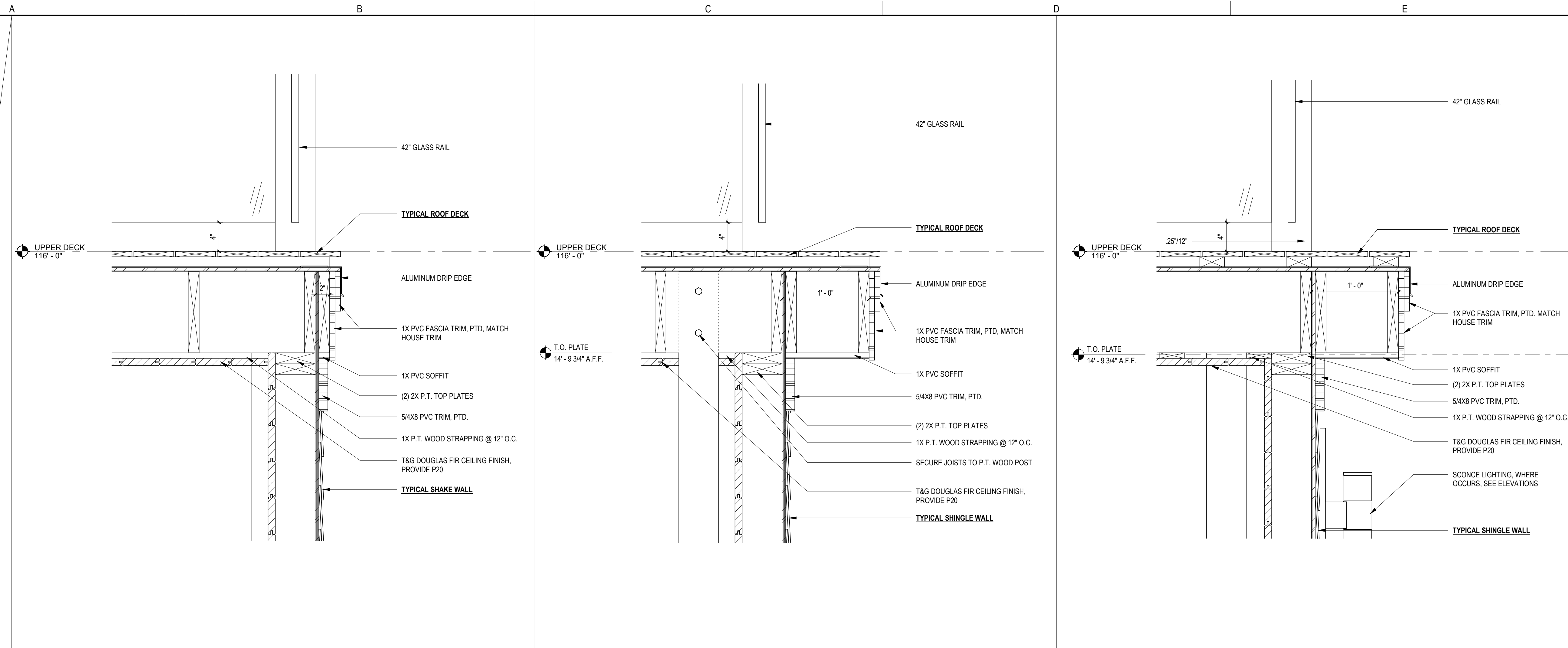
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REVISION	DATE	COMMENTS

SECTION DETAILS

A501

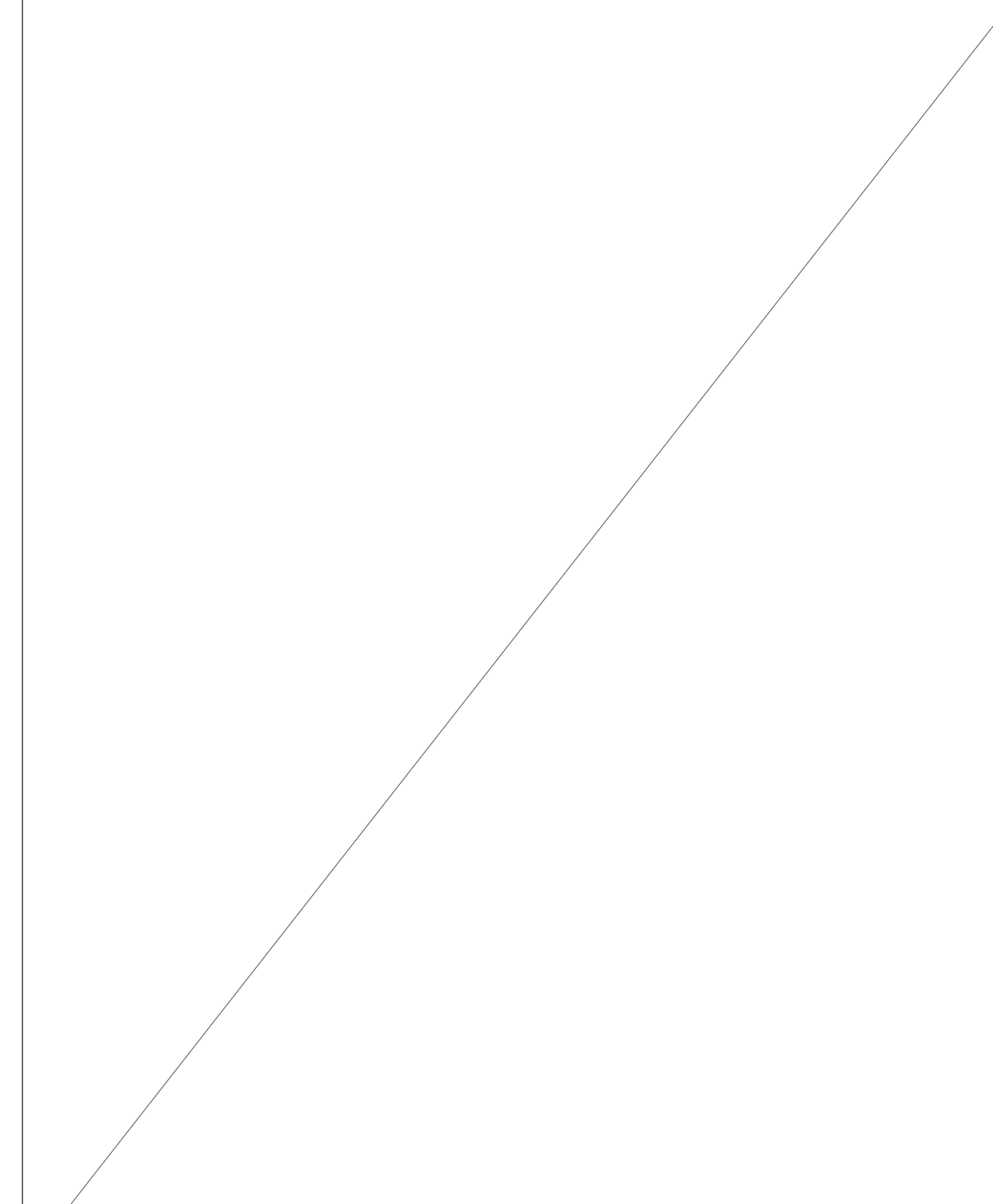
SHEET NUMBER: 13 OF 10 ARCHITECTURAL
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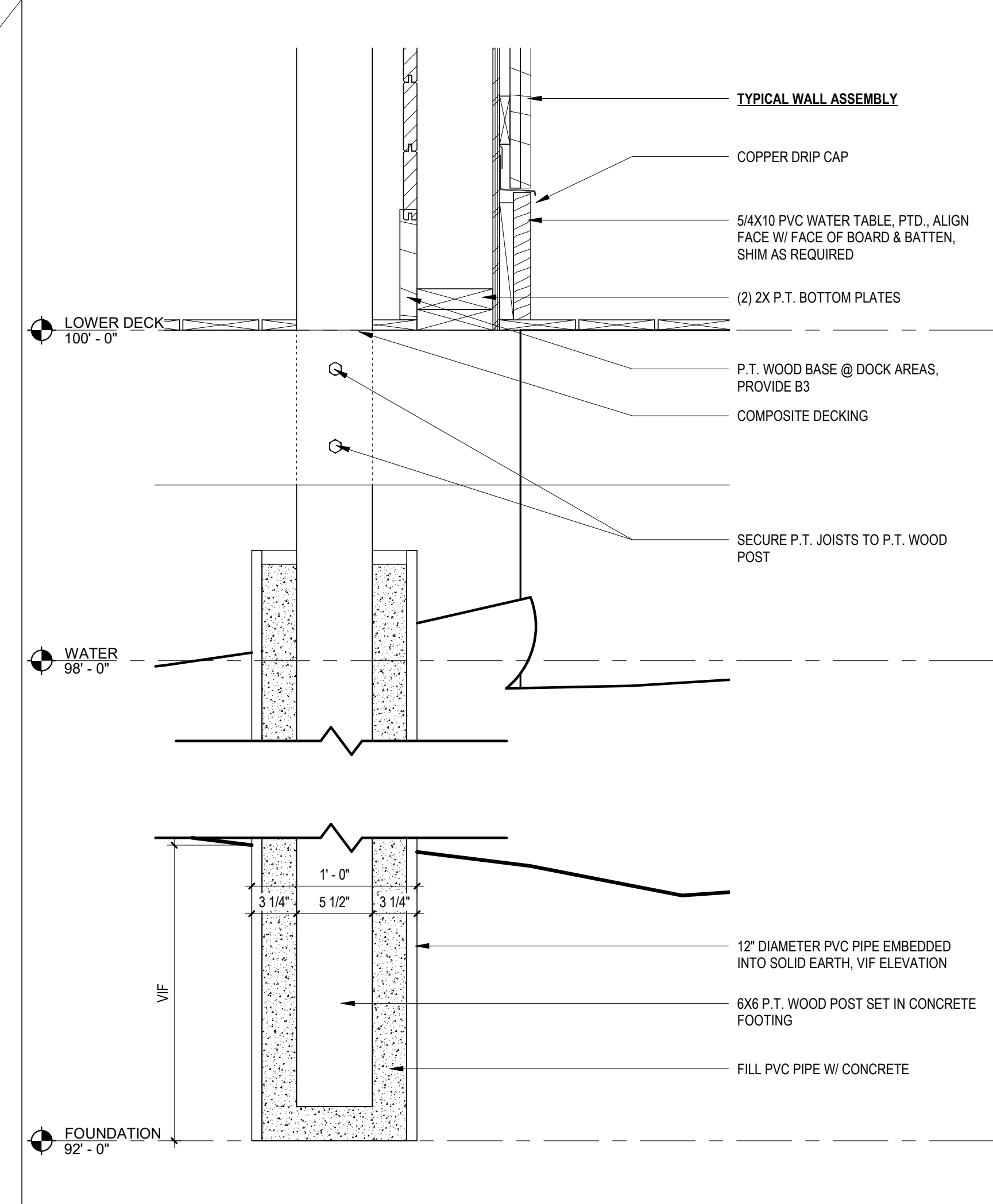
1 PART. SECT. @ SHORT OVERHANG ROOF
 A501 1 1/2" = 1'-0"

2 PART. SECT. @ MAIN EXTERIOR WALL ROOF
 A203 1 1/2" = 1'-0"

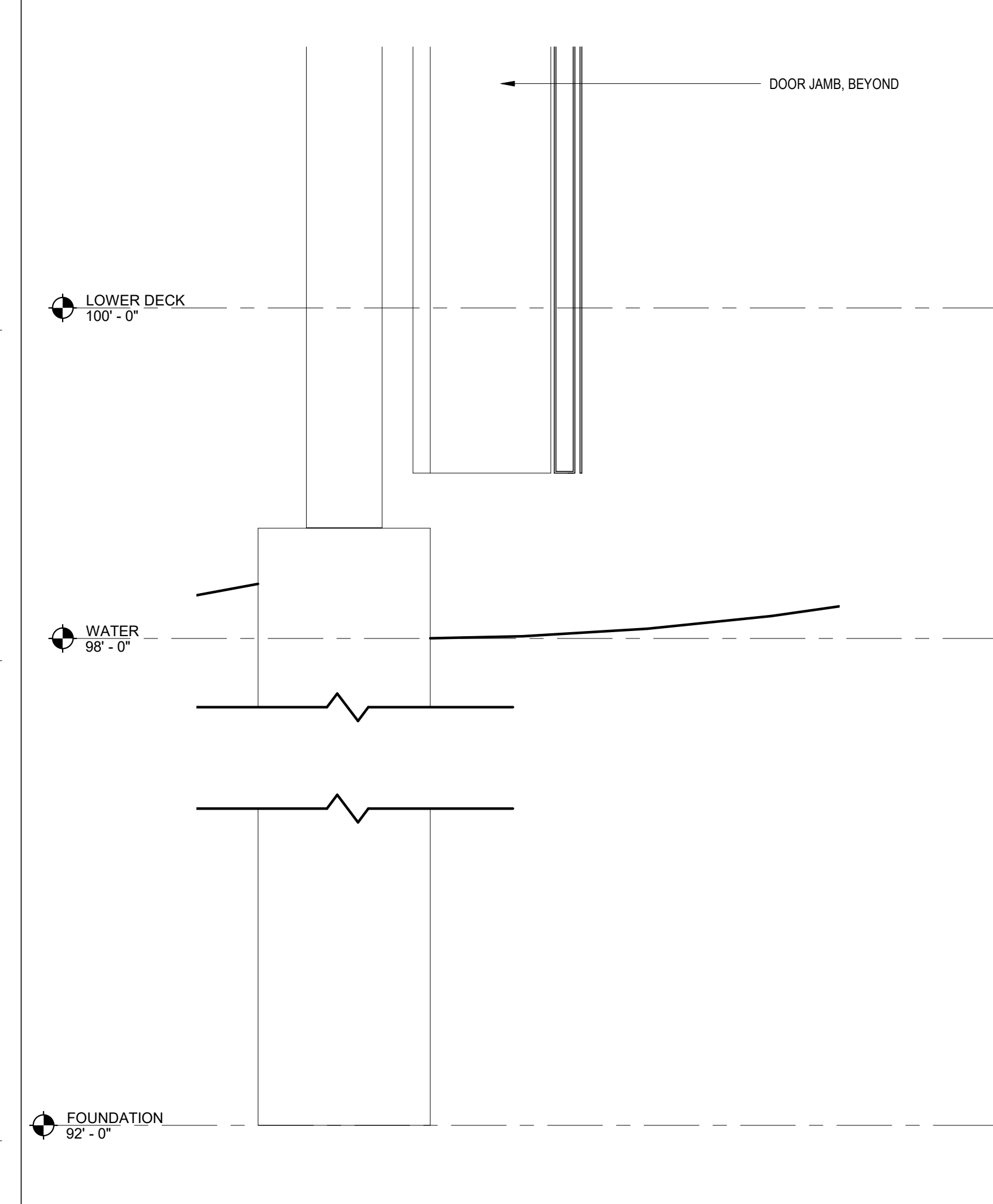
3 PART. SECT. @ BOAT ENTRANCE - ROOF
 A321 1 1/2" = 1'-0"



4 PART. SECT. @ MAIN EXTERIOR WALL FOUNDATION
 A321 1 1/2" = 1'-0"



5 PART. SECT. @ BOAT ENTRANCE FOUNDATION
 A321 1 1/2" = 1'-0"



5 PART. SECT. @ BOAT ENTRANCE FOUNDATION
 A321 1 1/2" = 1'-0"

three inches = one foot
 one and one half inches = one foot
 one inch = one foot
 three quarter inch = one foot
 one quarter inch = one foot
 one eighth inch = one foot
 BIM 360/3544 Calabro Alton3544 CALABRO BOATHOUSE.rvt
 TEMPLATE DATE: 11/25/2019

DOOR AND FRAME SCHEDULE

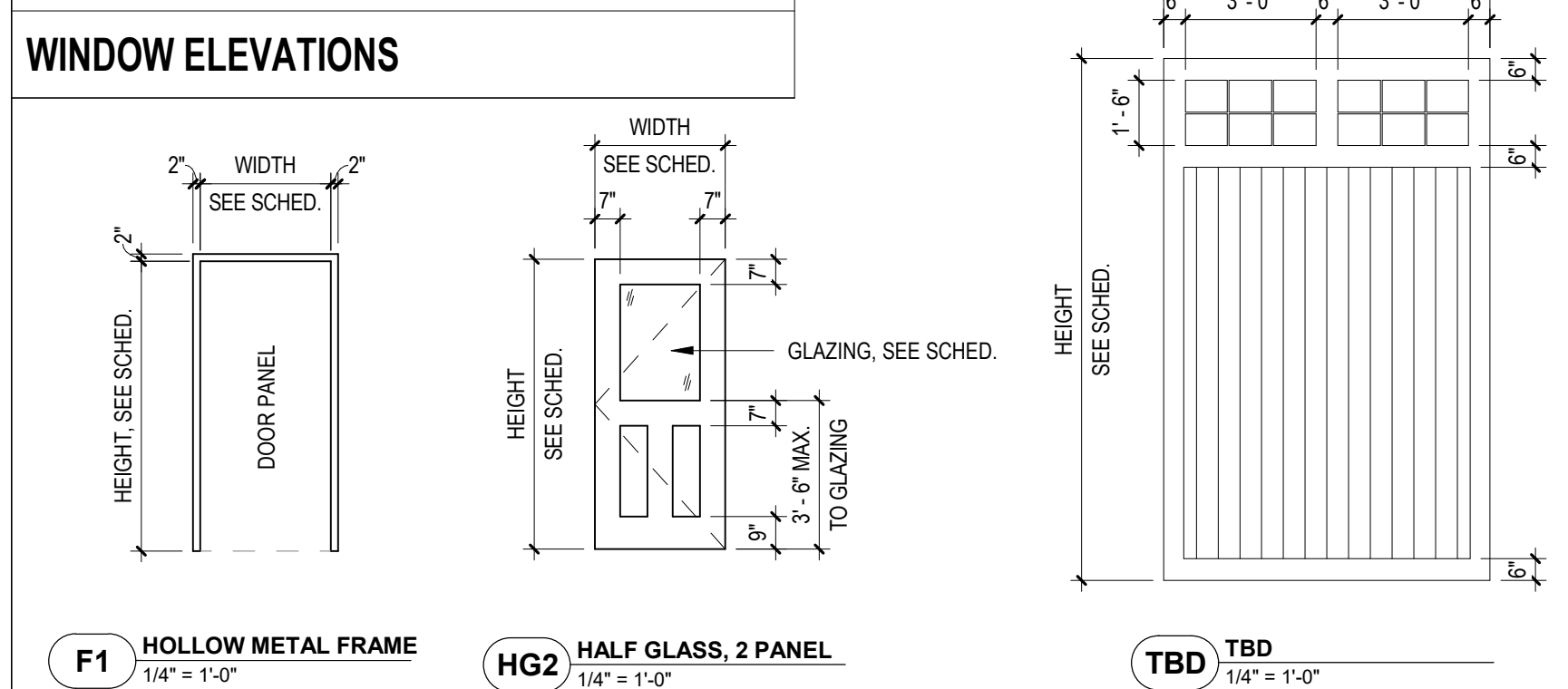
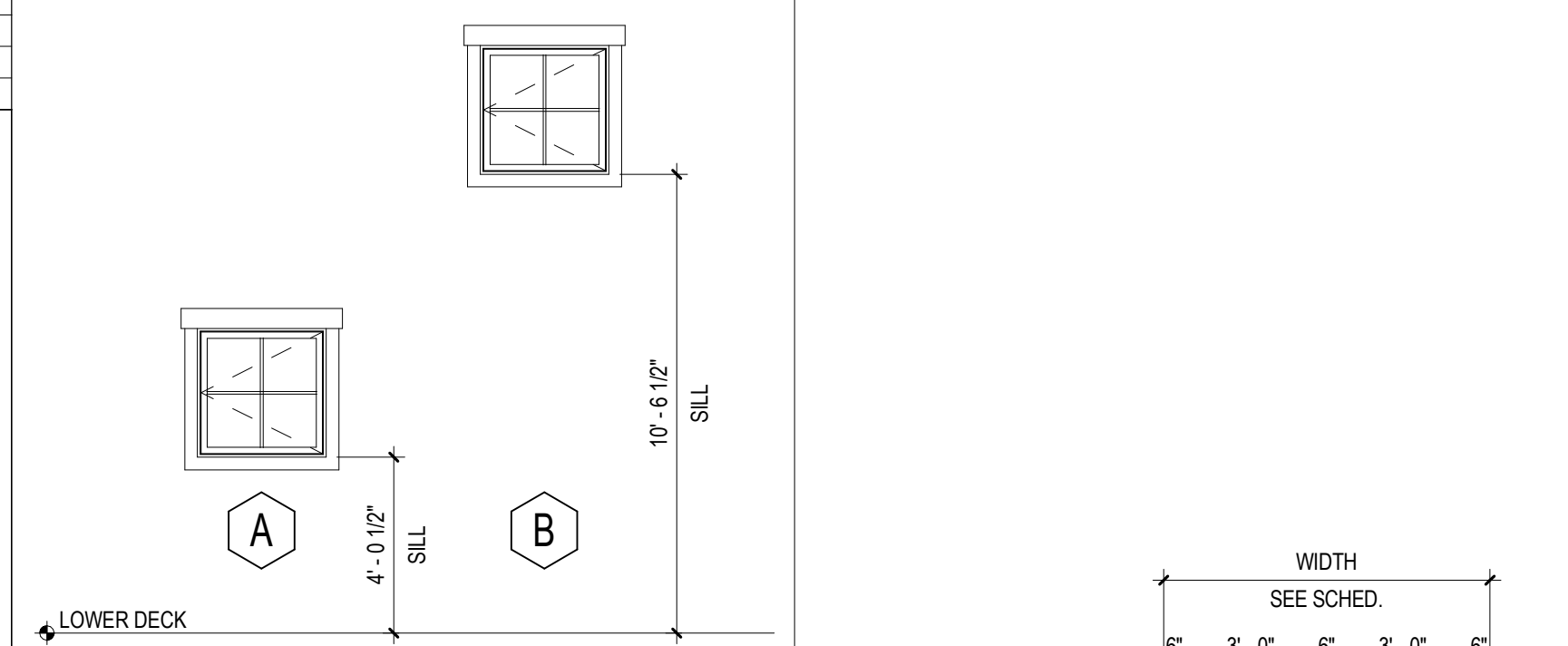
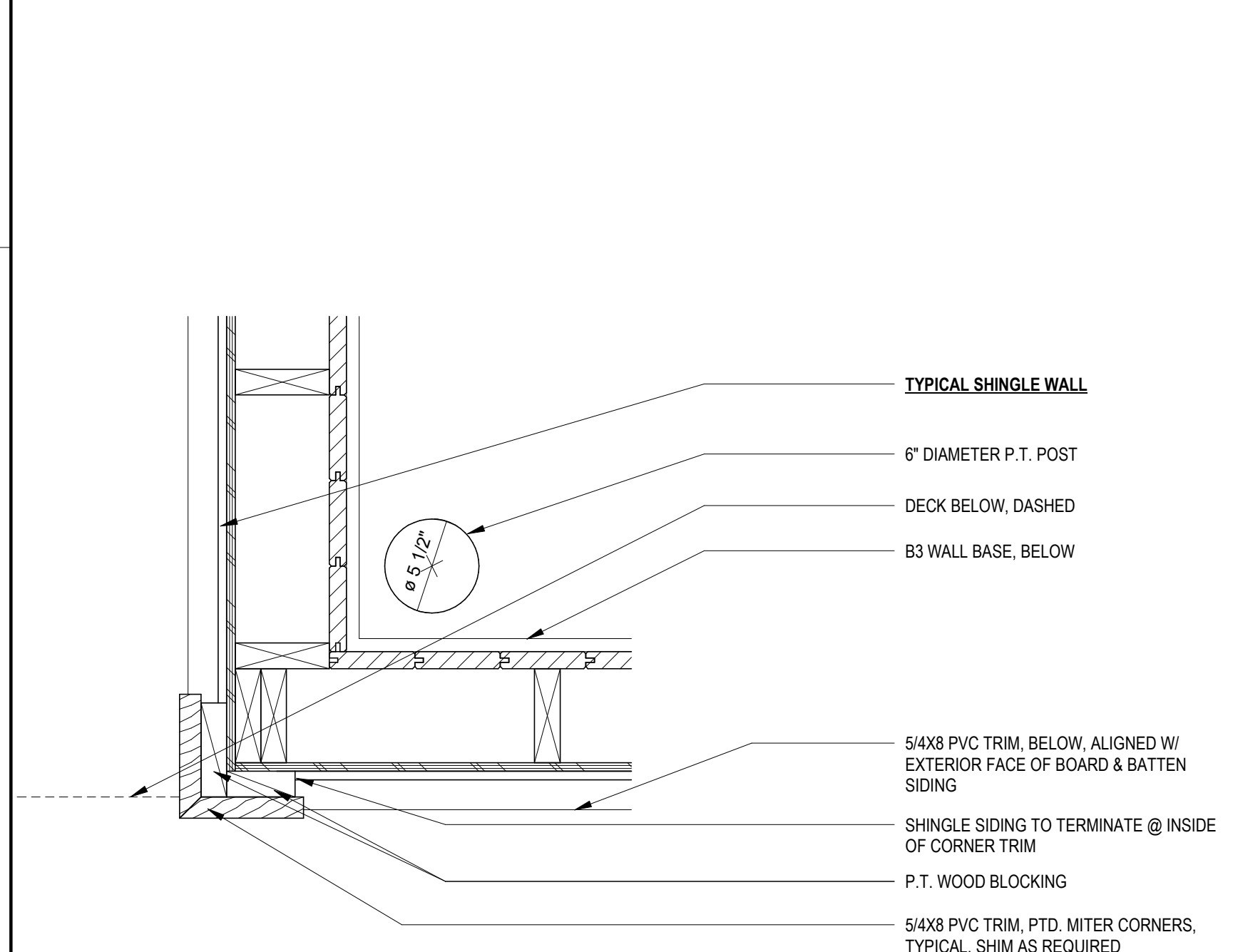
TAG #	LOCATION			DOOR							FRAME				HARDWARE		DOOR HARDWARE		SIGNAGE		COMMENTS		
	FROM (KEY SIDE)	TO (SECURE SIDE)	ROOM #	WIDTH	HEIGHT	TYPE	MATL	FINISH	GLAZING TYPE	THICK	CONFIG	TYPE	MATL	FINISH	HEAD	JAMB	SILL	FIRE RATING	ANSI FUNCTION	FUNCTION DESCRIPTION		SET #	TYPE
001A	EXTERIOR	BOAT GARAGE	001	3'-0"	7'-0"	HG2	GALV. STEEL	FF/P15	G-1	1 3/4"	SINGLE	F1	GALV. STEEL	FF/P15	3/A603	1/A603	ALUM. THRESHOLD	---	F81	ENTRANCE/STOREROOM - CYLINDER	1	---	---
001B	EXTERIOR	BOAT GARAGE	001	3'-0"	7'-0"	HG2	GALV. STEEL	FF/P15	G-1	1 3/4"	SINGLE	F1	GALV. STEEL	FF/P15	3/A603	1/A603	ALUM. THRESHOLD	---	F81	ENTRANCE/STOREROOM - CYLINDER	1	---	---
001D	EXTERIOR	DOCK	130	3'-0"	7'-0"	HG2	GALV. STEEL	FF/P15	G-1	1 3/4"	SINGLE	F1	GALV. STEEL	FF/P15	3/A603	1/A603	ALUM. THRESHOLD	---	F81	ENTRANCE/STOREROOM - CYLINDER	1	---	---

WINDOW SCHEDULE

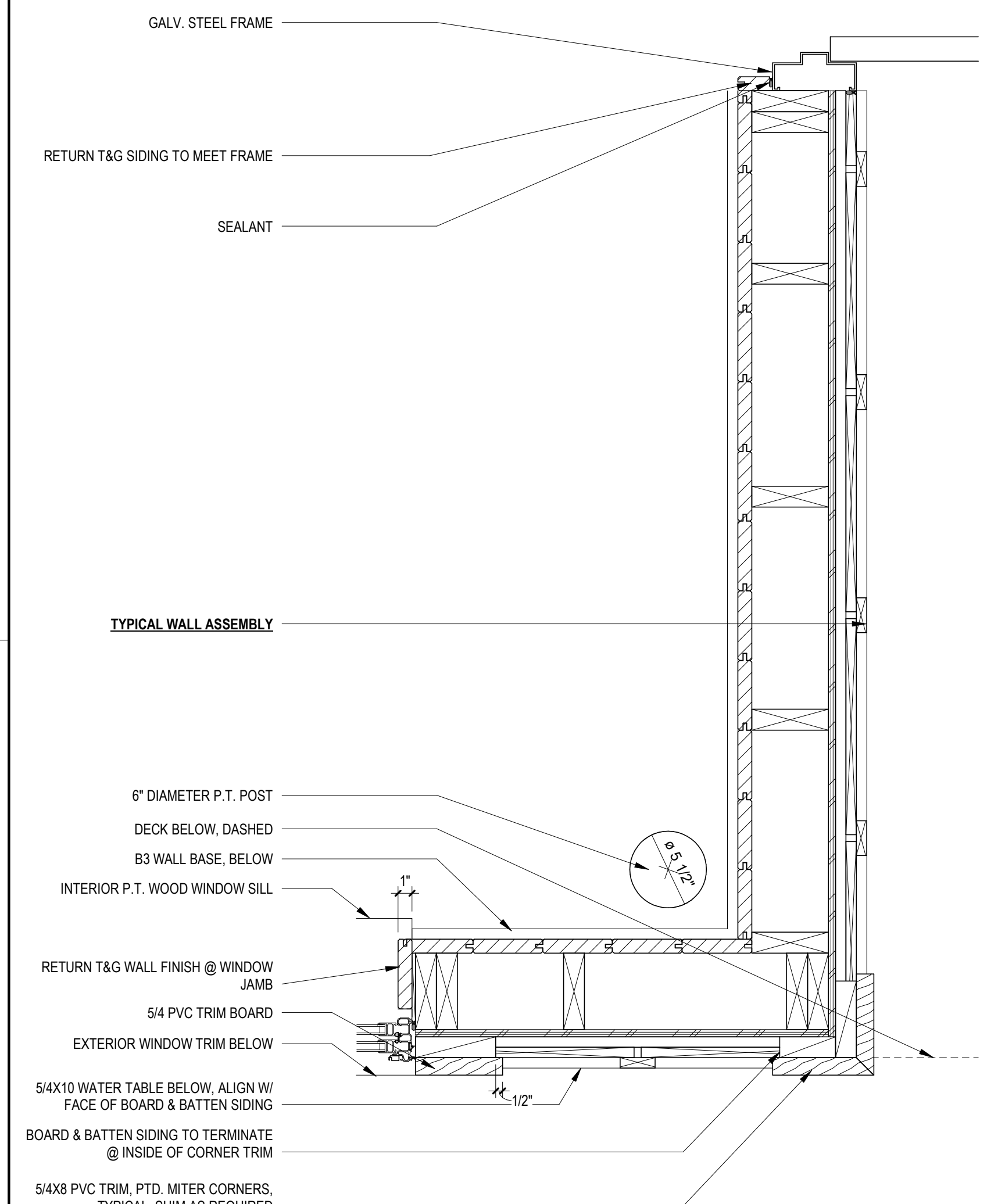
LETTER	MANUF. NUMBER	DIMENSIONS		EXTERIOR FRAME MATERIAL	INTERIOR FRAME MATERIAL	FINISH	EGRESS	REMARKS
		ROUGH OPENING	MASONRY OPENING					
A	IFCA3040	3'-0" X 3'-0"	N/A	COMPOSITE	P.T. WOOD	P15		SILL @ 4'-0 1/2"
B	IFCA3040	3'-0" X 3'-0"	N/A	COMPOSITE	P.T. WOOD	P15		SILL @ 10'-8 1/2"

TAG	TYPE	FIRE RATING	DESCRIPTION / BASIS OF DESIGN
G-1	MONOLITHIC EXTERIOR VISION GLAZING	---	

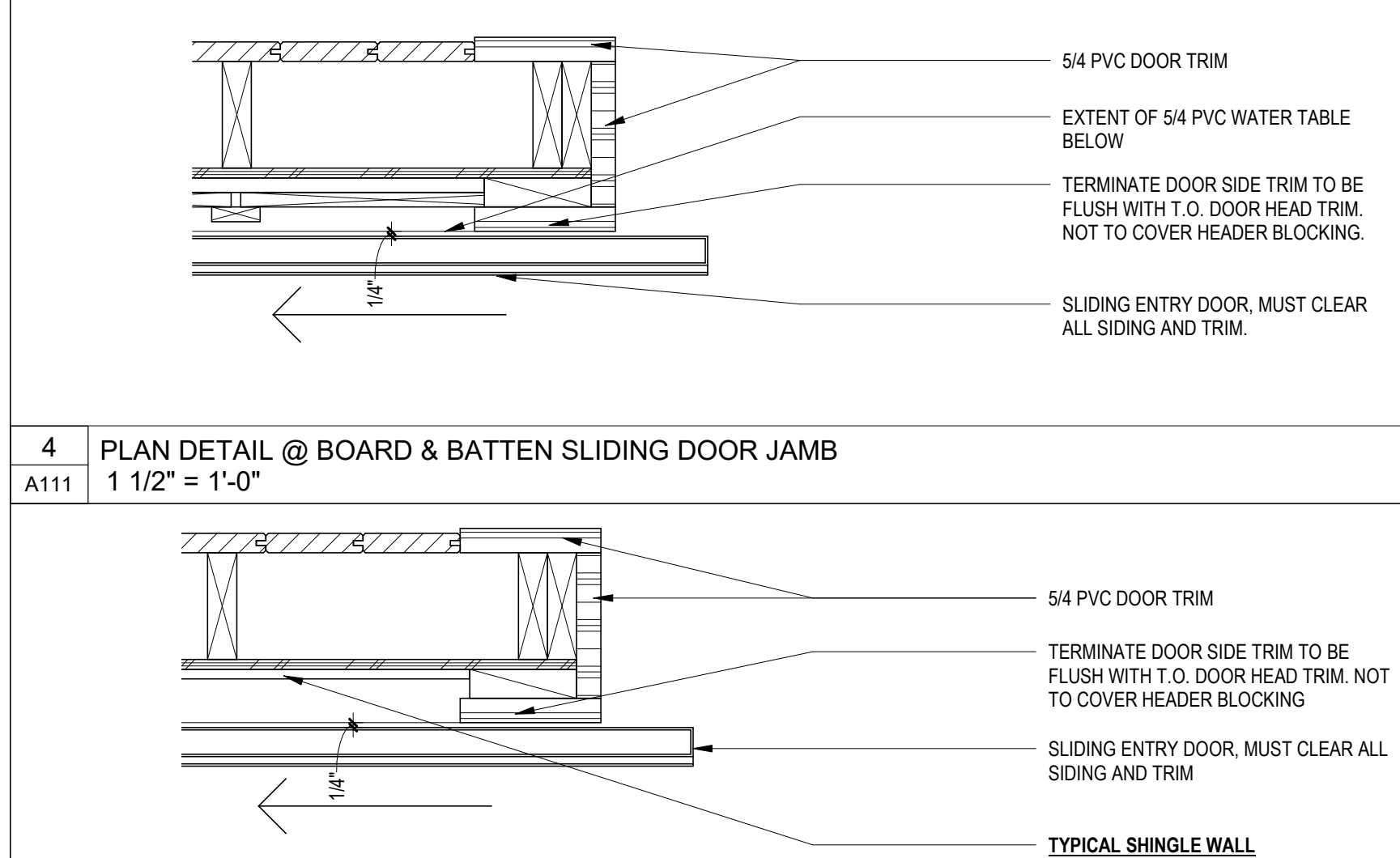
GLAZING TYPES



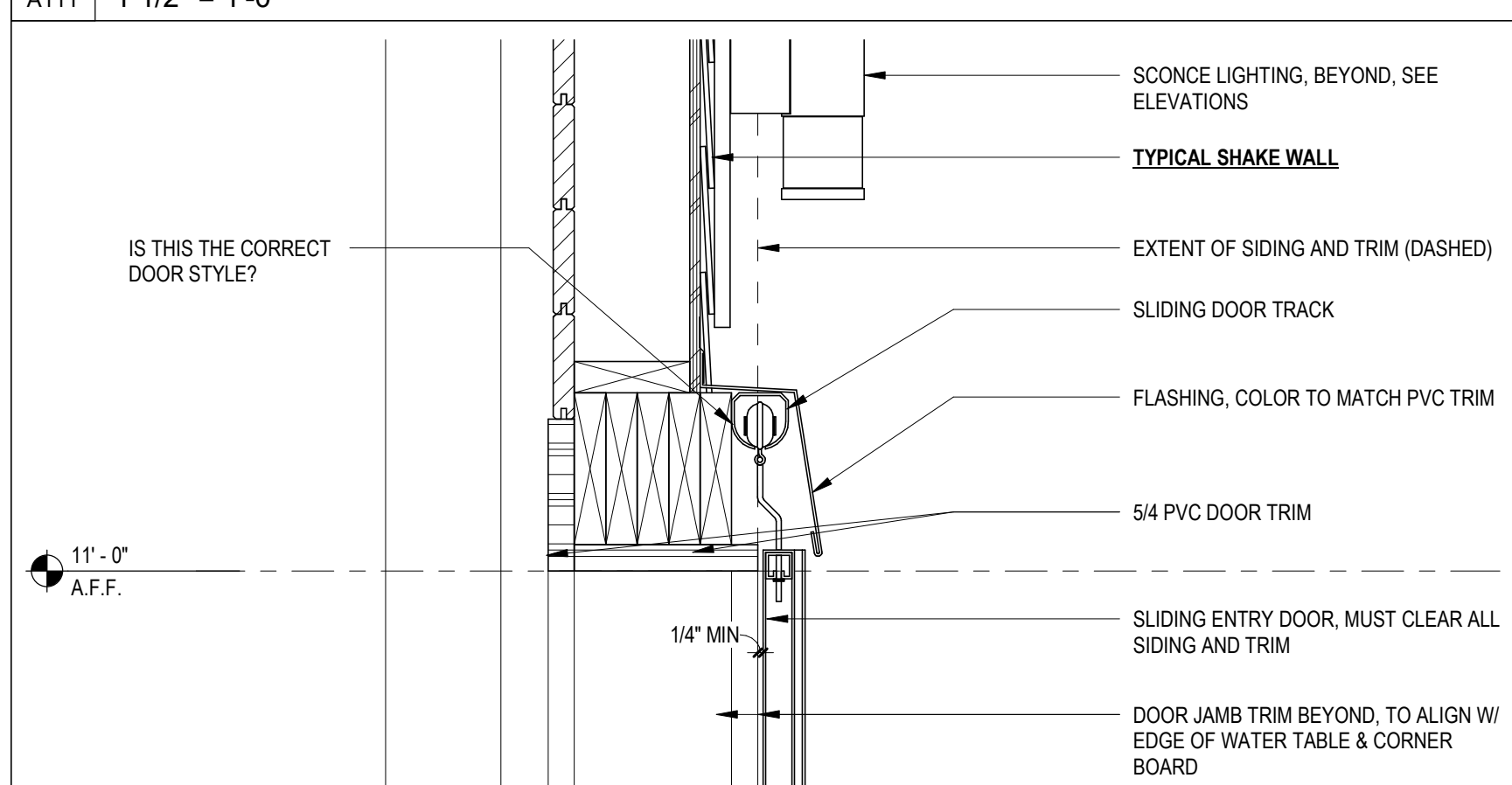
3 PLAN DETAIL @ TYPICAL SHINGLE CORNER
A603 1 1/2" = 1'-0"



4 PLAN DETAIL @ BOARD & BATTEN SLIDING DOOR JAMB
A111 1 1/2" = 1'-0"



5 PLAN DETAIL @ SHINGLE SLIDING DOOR JAMB
A111 1 1/2" = 1'-0"



1 PLAN DETAIL @ TYPICAL CORNER
A603 1 1/2" = 1'-0"

2 WALL SECTION DETAIL @ BOAT DOOR HEAD
A603 1 1/2" = 1'-0"

GENERAL NOTES

- SEE SHEET A002 OR PROJECT MANUAL FOR GLAZING TYPES.
 - COORDINATE ALL HOLLOW METAL FRAME THROAT DIMENSIONS WITH PARTITION TYPES
 - DOORS SHALL BE PTD.
- DOOR SCHEDULE LEGEND**
- WD WOOD VENEER WITH FACTORY FINISH
 - ALUM ALUMINUM
 - ALUM/FG ALUMINUM FRAME/ FIBERGLASS PANELS
 - HM HOLLOW METAL
 - FF FACTORY FINISH
 - PT-PT15 PAINTED, SEE INTERIOR FINISH KEY FOR COLOR CODE REFERENCE.

DOOR SCHEDULE NOTES

-

HARDWARE SETS

- SET #1 - SINGLE EXTERIOR
- 3 HINGES
 - 1 KEYPED HARDWARE SET, MATCH BALDWIN@ HOUSE
 - 1 8\"/>

GENERAL WINDOW NOTES

- ALL WINDOW OPENINGS ARE TO BE FIELD VERIFIED. FRAME DIMENSIONS MAY VARY DUE TO FIELD MEASUREMENTS, WINDOW MANUFACTURERS, CONSTRUCTION TOLERANCES, ETC.
- INDICATED MANUFACTURER USED FOR DESIGN STANDARD AND LAYOUT. SEE SPECIFICATION FOR ADDITIONAL ACCEPTABLE MANUFACTURERS.
- ALL WINDOW AT " " R.O.H., UNLESS NOTED OTHERWISE.
- SEE SHEET A0-2 OR PROJECT MANUAL FOR GLAZING TYPES.
- PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
- PROVIDE WINDOW GLAZING OF SUFFICIENT STRUCTURAL STRENGTH FOR SIZE AND APPLICATION OF INTERIOR AND EXTERIOR WINDOWS.
- PROVIDE FULL INSECT SCREEN AT ALL OPERABLE WINDOWS.
- WINDOW TYPES ARE DRAWN AS VIEWED FROM THE EXTERIOR.
- ALL WINDOW HARDWARE SHALL BE CLEAR ANODIZED ALUMINUM.
- CONSTRUCTION SUPERINTENDENT SHALL COORDINATE WINDOW AND LOUVER ROUGH OPENING DIMENSIONS WITH FLASHING REQUIREMENTS BEFORE FRAMING OPENINGS.
- WINDOW COLOR: _____

TO BE EDITED

WA WARRENSTREET ARCHITECTS
27 Warren Street Concord NH 03301
T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

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PLAN DETAILS & DOOR & WINDOW SCHEDULES & DETAILS

A603

SHEET NUMBER: 14 OF 10 ARCHITECTURAL
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TEMPLATE DATE: 1/25/2019
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